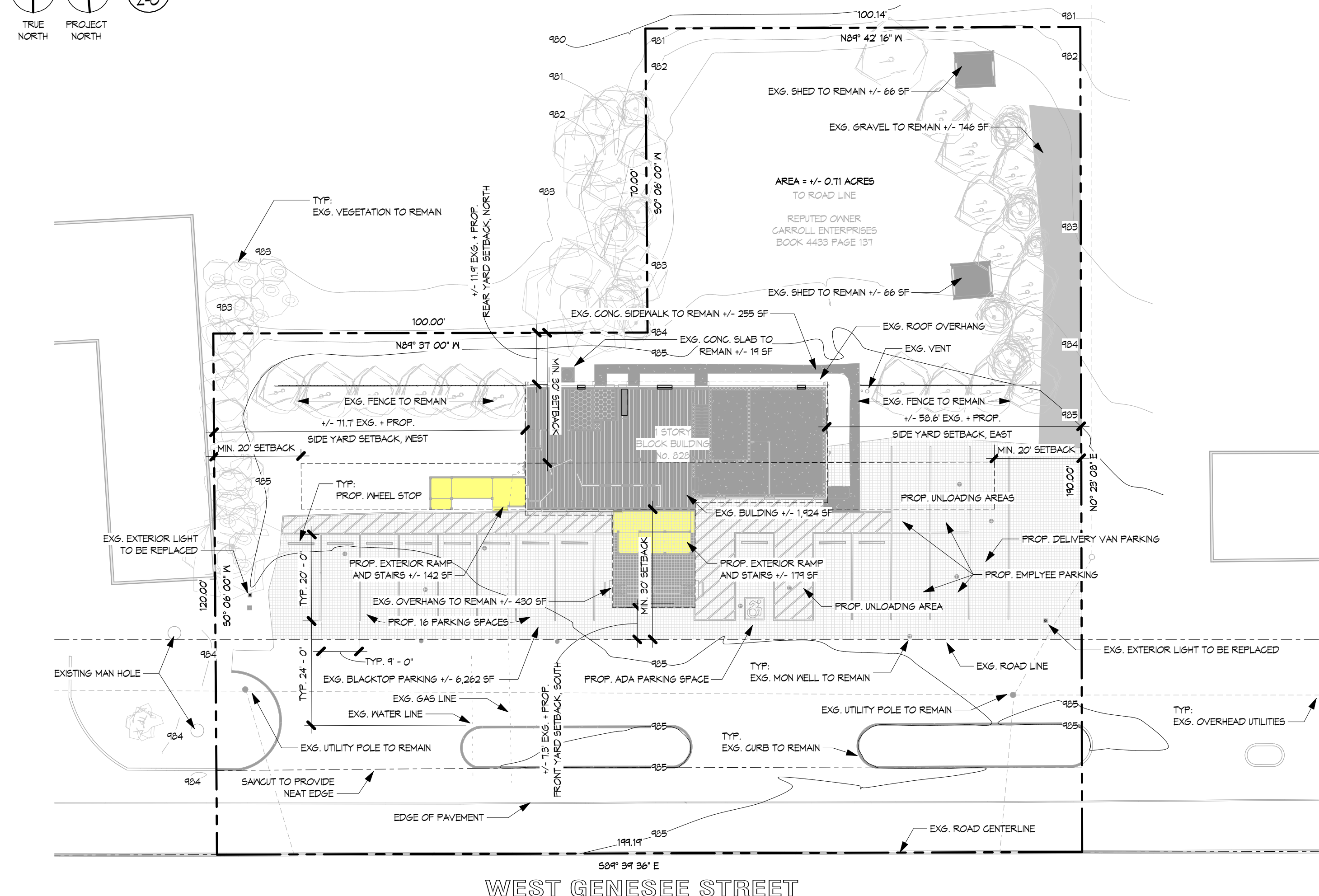
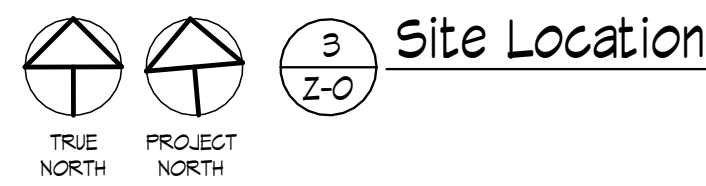


Drawing List	
Sheet Number	Sheet Name
Z-0	Site Plan
Z-1	Vicinity Map and Exterior Renders
Z-2	Foundation Plan
Z-3	First Floor Plan
Z-4	Second Floor Plan
Z-5	Building Elevation - South
Z-6	Building Elevation - West
Z-7	Building Elevation - North
Z-8	Building Elevation - East
Z-9	Existing and Proposed Signage

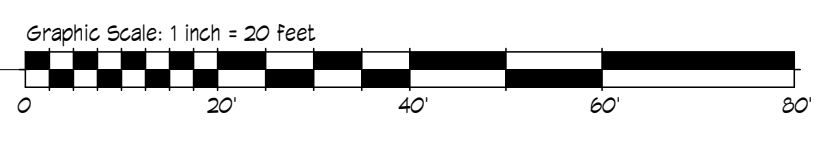
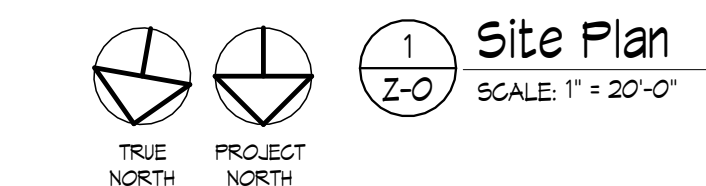
IMPERMEABLE CALCS	
LOT AREA: +/- 21,063.1 SF	
EXISTING LOT COVERAGE	
EXISTING BUILDING	+/- 1,924 SF
EXISTING FRONT OVERHANG	+/- 430 SF
EXISTING SHED	+/- 66 SF
EXISTING SHED	+/- 66 SF
EXISTING BLACKTOP PARKING	+/- 6,262 SF
EXISTING GRAVEL	+/- 746 SF
EXISTING CONC. SIDEWALK	+/- 255 SF
EXISTING CONC. SLAB	+/- 19 SF
	+/- 9,760 SF
100 (9,760 SF / 21,063.1 SF) (+/- 46.3%)	

PARKING REQUIREMENTS	
RETAIL SPACE: +/- 834 SF	
REQUIRED/ALLOWED:	
1 PARKING SPOT FOR EVERY 75.0 SF OF RETAIL SPACE (§ 140-9-4, CANNABIS RETAIL DISPENSARIES - C)	
(102) ID ROOM	+/- 60 SF
(101) ENTRY	+/- 80 SF
(103) SALES FLOOR	+/- 541 SF
(101) OFFICE	+/- 84 SF
	+/- 834 SF
+/- 834 SF / 75	16 PARKING SPACES
1 EMPLOYEE PARKING FOR EVERY 5 PARKING SPACES (§ 140-9-3, PARKING AND LOADING - A, 3, 8, V)	
16 PARKING SPACES / 5	4 PARKING SPACES
PROPOSED:	
12 CUSTOMER PARKING SPACES	
4 EMPLOYEE PARKING SPACES	
	16 PARKING SPACES

LOT COVERAGE CALCS	
LOT AREA: +/- 21,063.1 SF	
EXISTING LOT COVERAGE	
EXISTING BUILDING	+/- 1,924 SF
EXISTING FRONT OVERHANG	+/- 430 SF
EXISTING SHED	+/- 66 SF
EXISTING SHED	+/- 66 SF
EXISTING BLACKTOP PARKING	+/- 6,262 SF
EXISTING GRAVEL	+/- 746 SF
EXISTING CONC. SIDEWALK	+/- 255 SF
EXISTING CONC. SLAB	+/- 19 SF
	+/- 9,760 SF
100 (9,760 SF / 21,063.1 SF) (+/- 46.3%)	
PROPOSED LOT COVERAGE	
EXISTING BUILDING	+/- 1,924 SF
EXISTING FRONT OVERHANG	+/- 430 SF
EXISTING SHED	+/- 66 SF
EXISTING SHED	+/- 66 SF
EXISTING BLACKTOP PARKING	+/- 6,262 SF
EXISTING GRAVEL	+/- 746 SF
EXISTING CONC. SIDEWALK	+/- 255 SF
EXISTING CONC. SLAB	+/- 19 SF
PROP. EXTERIOR RAMP AND STAIRS	+/- 142 SF
	+/- 9,910 SF
100 (9,910 SF / 21,063.1 SF) (+/- 47.0%)	

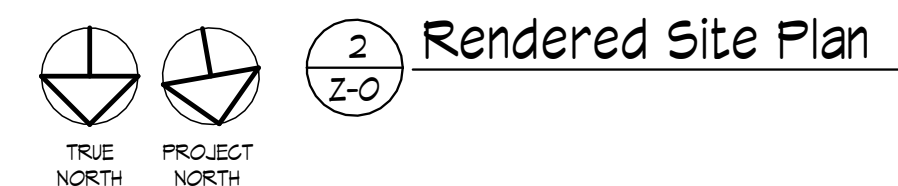


SITE INFORMATION TAKEN FROM A SURVEY BY PAUL JAMES OLSZEWSKI, N.Y.S. LICENSE #50212 DATED 05/17/2024 OF MILITARY LOT 30, TOWN OF SKANEATELES, COUNTY OF ONONDAGA, STATE OF NEW YORK. PROPOSED SITE PLAN BY WILLIAM L. MURPHY, JR., N.Y.S. LICENSE #0346002.



DENSITY CONTROL SCHEDULE					
HC - HIGHWAY COMMERCIAL DISTRICT					
	REQ'D./ALLOWED	EXISTING	PROPOSED	DIFFERENCE	REQ'D. VARIANCE
MINIMUM LOT SIZE	2.5 ACRES	+/- 0.71 ACRES	+/- 0.71 ACRES	-	+/- 1.79 ACRES (P.E.N.C.)
MINIMUM LOT FRONTAGE	200 FT	+/- 199.1 FT	+/- 199.1 FT	-	+/- 0.9 FT (P.E.N.C.)
MINIMUM FRONT YARD SETBACK, SOUTH	30.0 FT	+/- 7.3 FT	+/- 7.3 FT	-	+/- 22.7 FT (P.E.N.C.)
MINIMUM SIDE YARD SETBACK, WEST	20.0 FT	+/- 11.1 FT	+/- 11.1 FT	-	-
MINIMUM SIDE YARD SETBACK, EAST	20.0 FT	+/- 50.6 FT	+/- 50.6 FT	-	-
MINIMUM SIDE YARD SETBACK, TOTAL	40.0 FT	+/- 130.3 FT	+/- 130.3 FT	-	-
MINIMUM REAR YARD SETBACK, NORTH	30.0 FT	+/- 11.9 FT	+/- 11.9 FT	-	+/- 18.1 FT (P.E.N.C.)
MAXIMUM LOT COVERAGE	60.0%	+/- 31.9%	+/- 32.3%	+/- 0.4%	-
MAXIMUM IMPERMEABLE SURFACE COVERAGE	50.0%	+/- 31.9%	+/- 31.9%	-	-
PARKING LOCATION	BESIDE/BEHIND BLDG.	FRONT/BESIDE BLDG.	FRONT/BESIDE BLDG.	-	FRONT OF BLDG. (P.E.N.C.)
MAXIMUM BUILDING FOOTPRINT	90,000 SQ FT	+/- 2,271.2 SQ FT	+/- 2,271.2 SQ FT	-	-
MAXIMUM BUILDING HEIGHT	35 FT	+/- 21.0 FT	+/- 21.0 FT	-	-

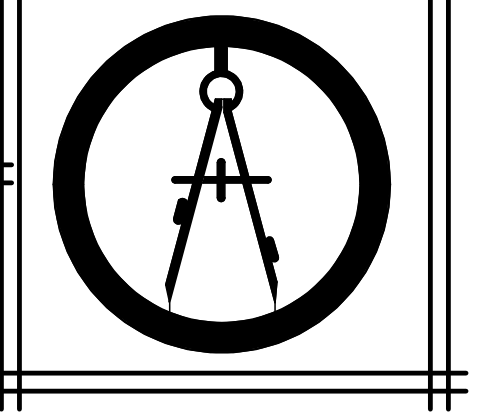
* (P.E.N.C.) - PRE-EXISTING NON-CONFORMING.



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 3 Fennell Street, Suite #2 Skaneateles, N.Y. 13152
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PROPOSED DISPENSARY
 For
828 W Genesee St Rd LLC
 828 W Genesee Street Rd, Skaneateles, NY
 13152

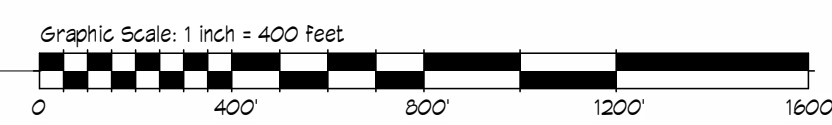
Revisions	Date
No.	
Description	



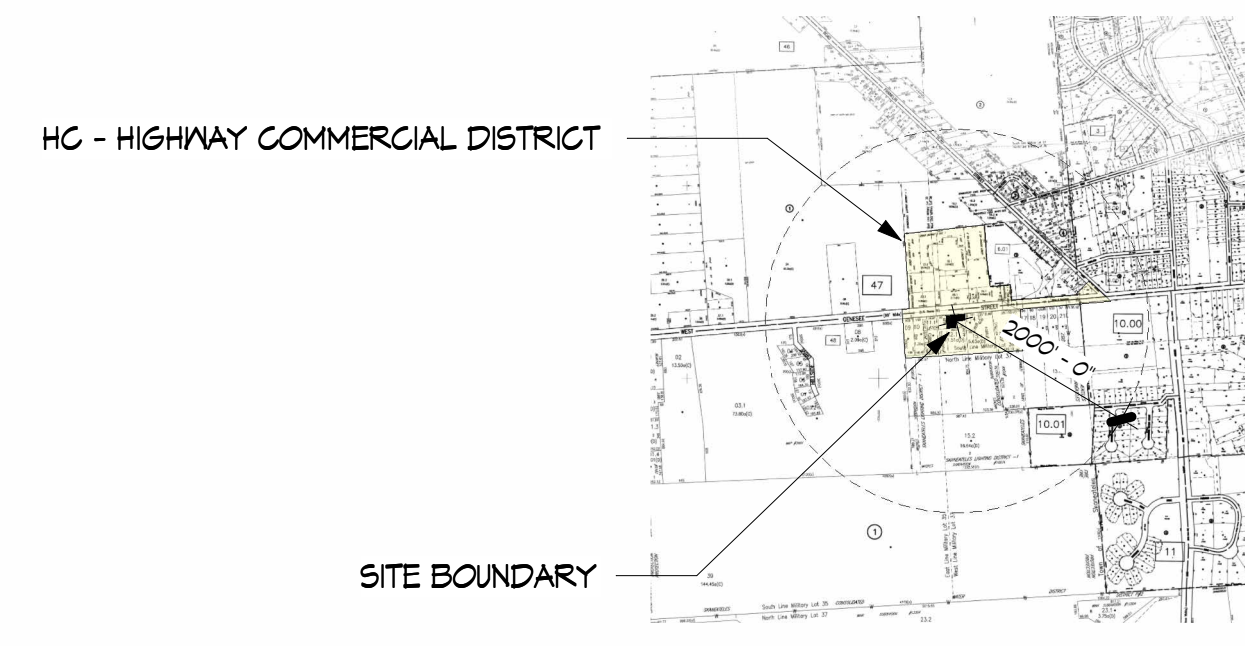
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1 Vicinity Map Zoomed In
 SCALE: 1" = 400'-0"



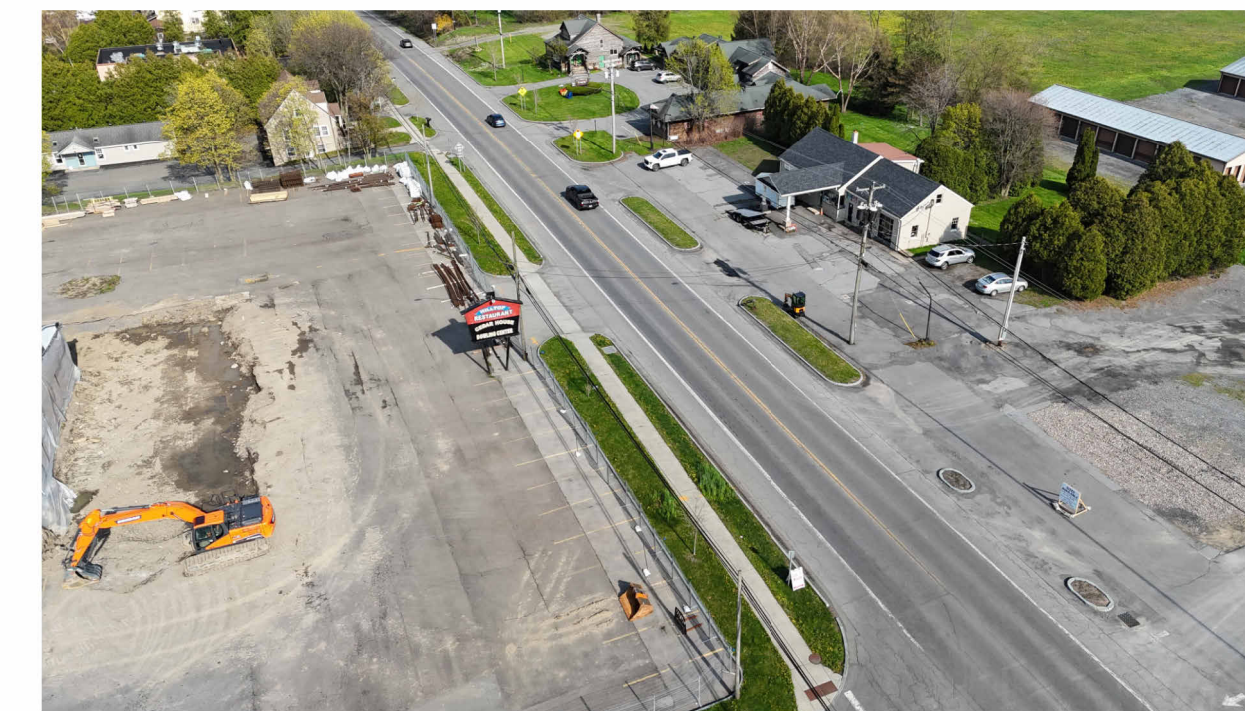
8 Vicinity Map
 SCALE: 1" = 2000'-0"



2 Proposed Rendering - South View



4 Proposed Rendering - West View



6 Existing Conditions - South View



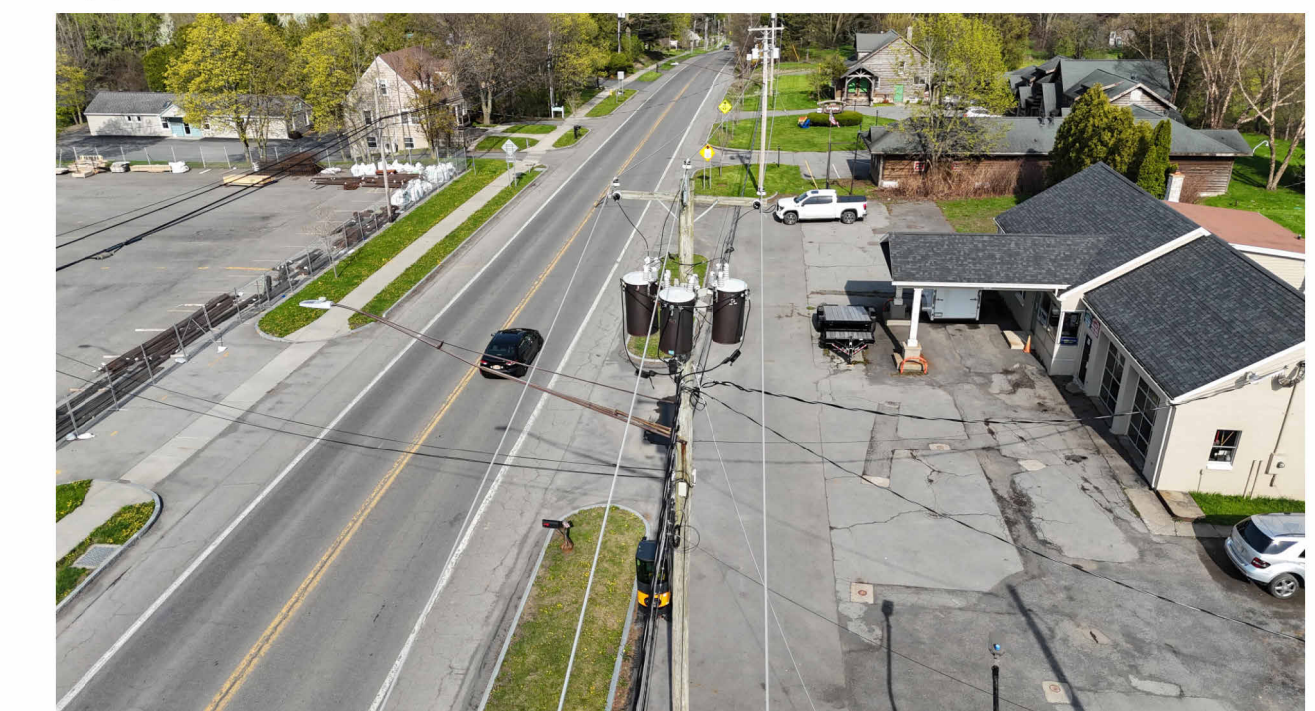
3 Proposed Rendering - East View



5 Proposed Rendering - North View



7 Existing Conditions - Roof View



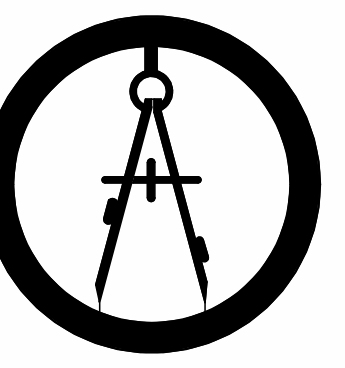
9 Existing Conditions - East View

No.	Revisions Description	Date

6.25.24

Vicinity Map and
 Exterior Renders

Z-1

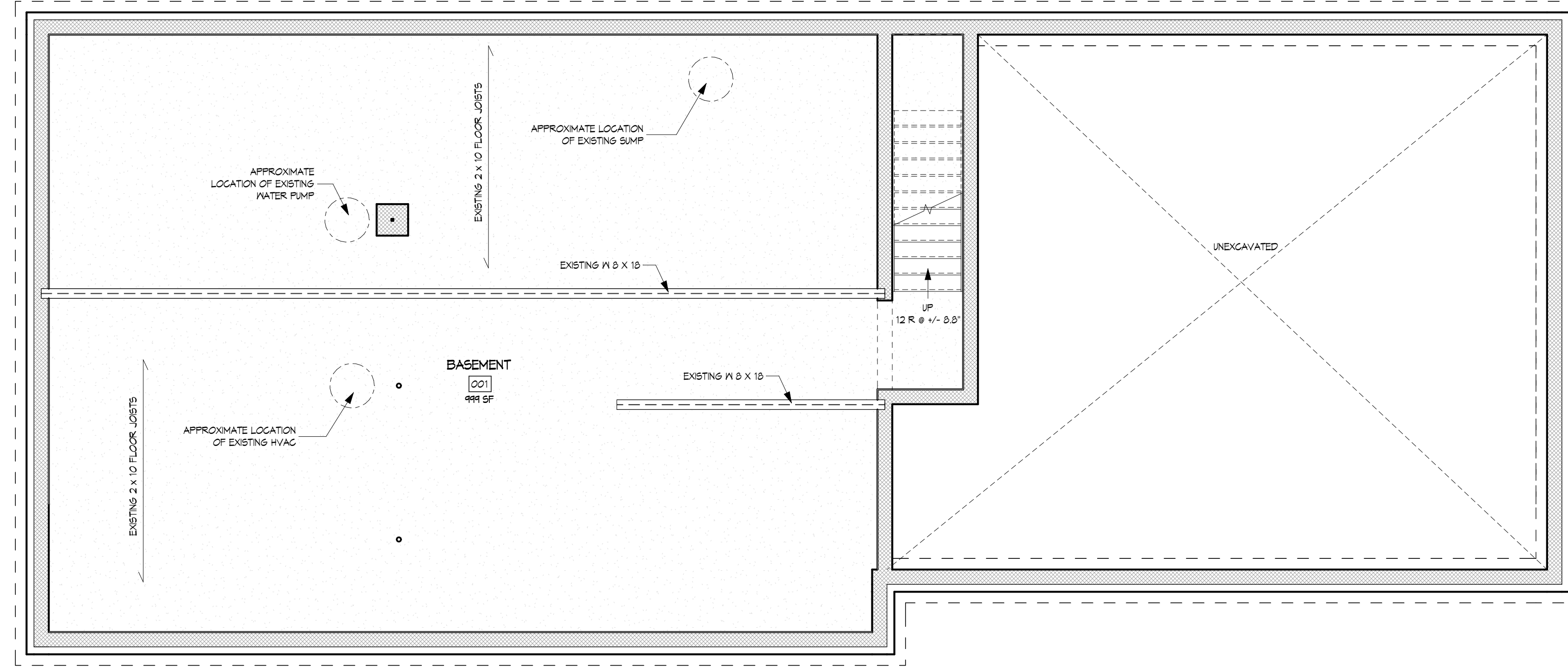


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Scale:	As indicated		

WALL KEY:	
	EXISTING WALLS
	PROPOSED WALLS
	DEMOLISHED WALLS

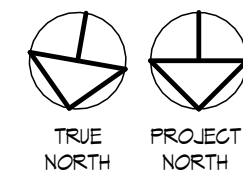


Z-6

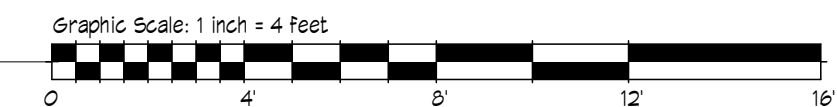
Z-6

Z-7

Z-5



Basement Floor Plan
SCALE: 1/4" = 1'-0"



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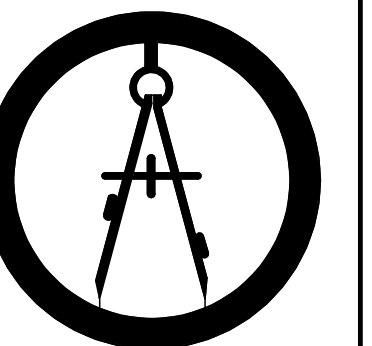
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Date: xx/xx/24
Scale: 1/4" = 1'-0"

Drawn by: Author
Checked by: Checker

Foundation Plan

6.25.24

Z-2



PROPOSED DISPENSARY
for
828 W Genesee St Rd LLC
828 W Genesee Street Rd, Skaneateles, NY
13152

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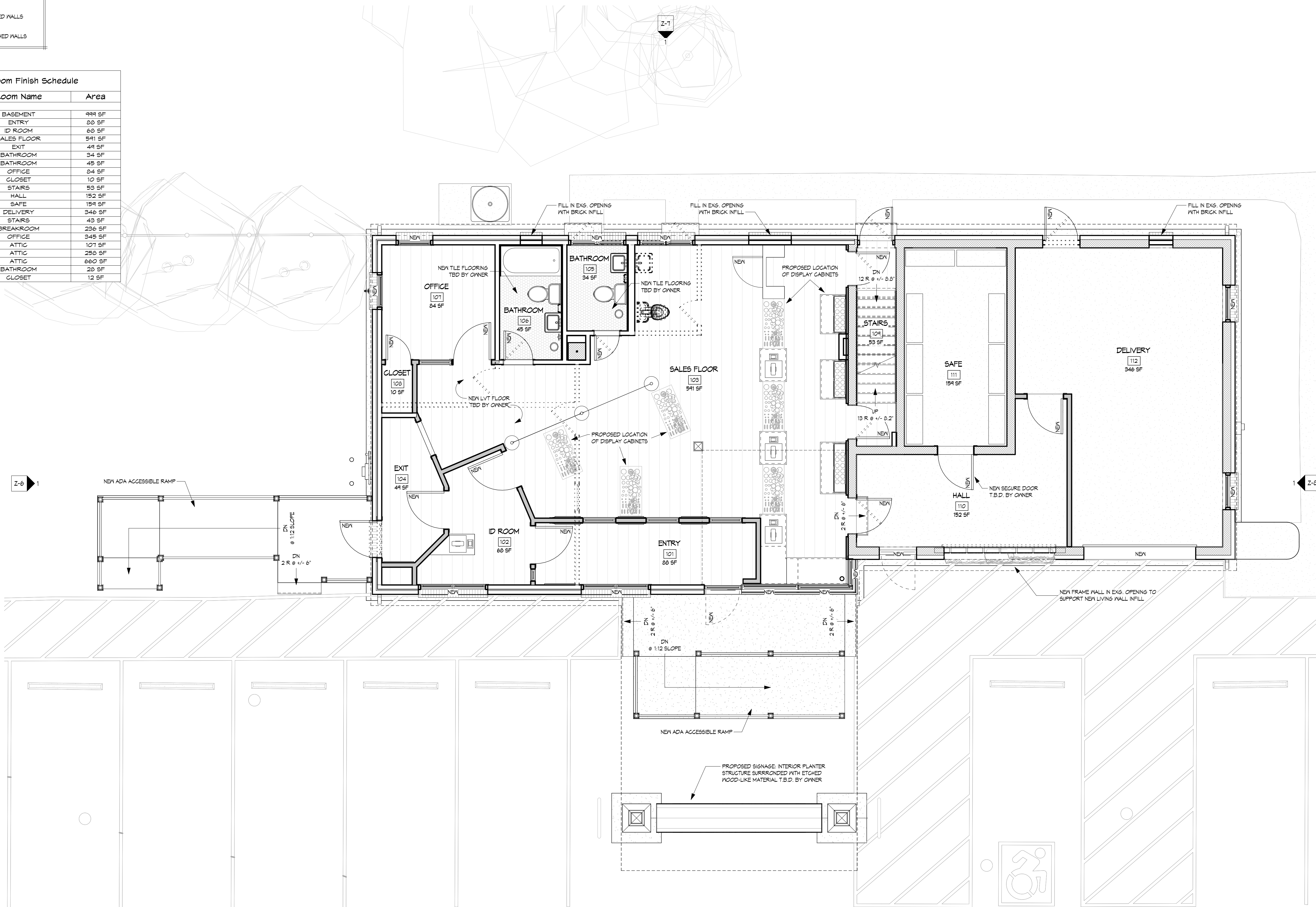
Revisions	Date
Description	
No.	

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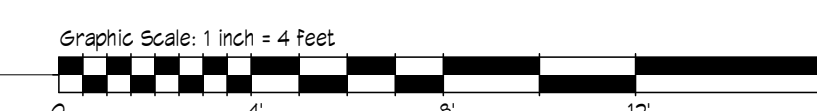
	EXISTING WALLS
	PROPOSED WALLS
	DEMOLISHED WALLS

Proposed Room Finish Schedule

Room Number	Room Name	Area
001	BASEMENT	494 SF
101	ENTRY	88 SF
102	ID ROOM	68 SF
103	SALES FLOOR	541 SF
104	EXIT	44 SF
105	BATHROOM	34 SF
106	BATHROOM	45 SF
107	OFFICE	24 SF
108	CLOSET	10 SF
109	STAIRS	55 SF
110	HALL	152 SF
111	SAFE	154 SF
112	DELIVERY	346 SF
201	STAIRS	43 SF
202	BREAKROOM	236 SF
203	OFFICE	345 SF
204	ATTIC	107 SF
205	ATTIC	280 SF
206	ATTIC	660 SF
207	BATHROOM	28 SF
208	CLOSET	12 SF



1 First Floor Plan
SCALE: 1/4" = 1'-0"



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PROPOSED DISPENSARY
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 828 W Genesee Street Rd, Skaneateles, NY
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Revisions

No.	Description	Date

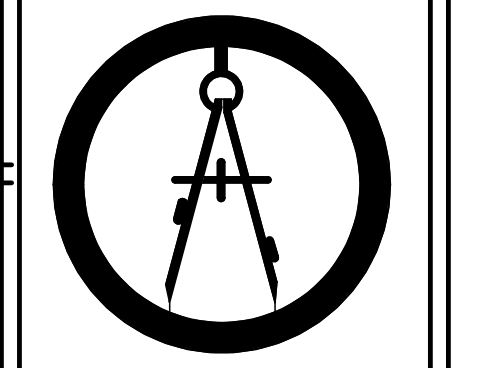
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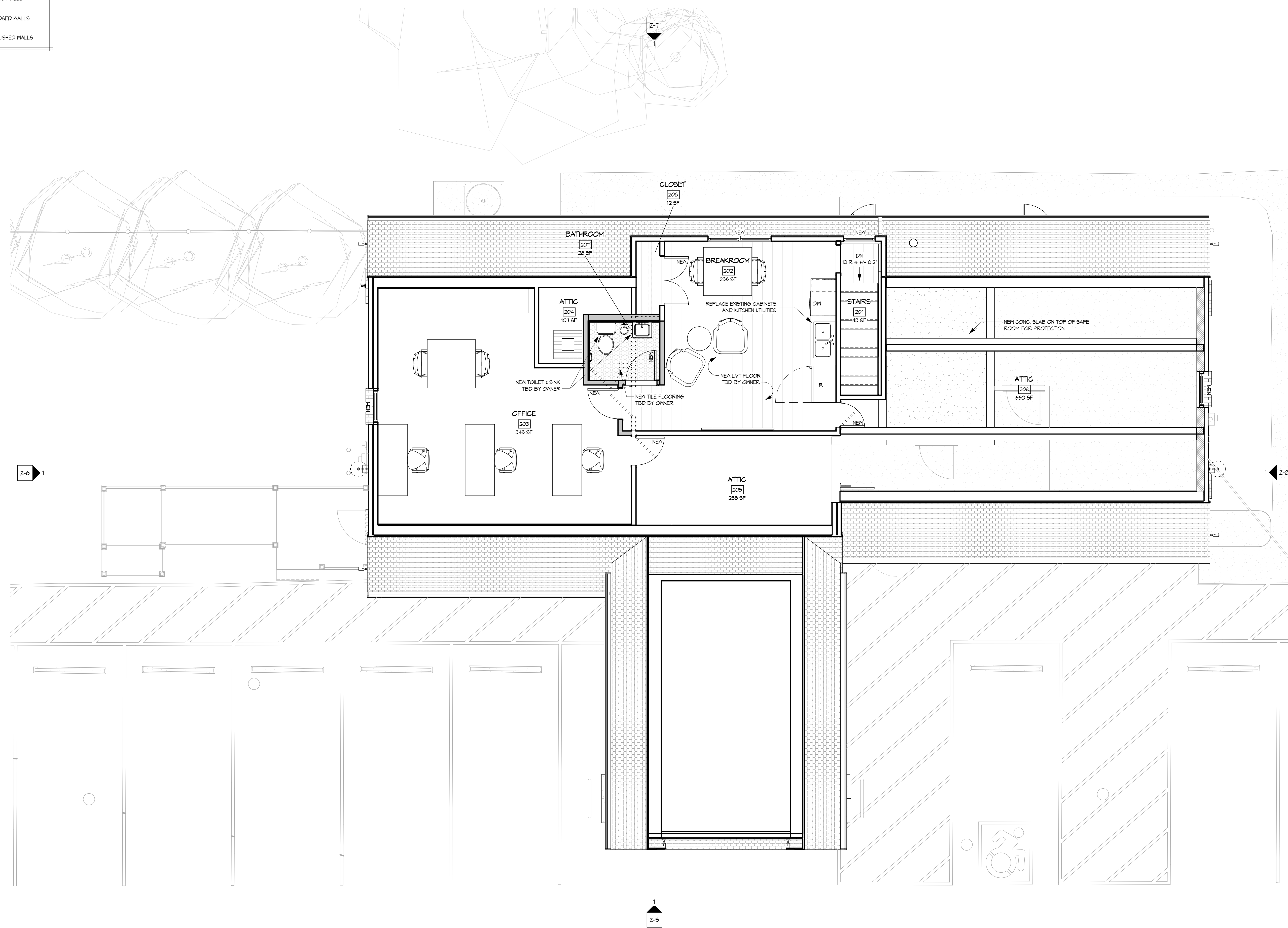
First Floor Plan

6.25.24
Z-3

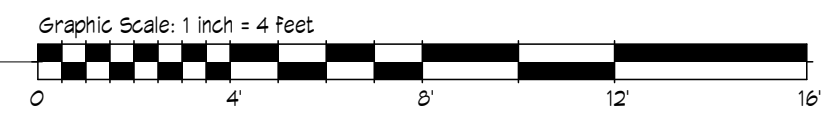


WALL KEY:

	EXISTING WALLS
	PROPOSED WALLS
	DEMOLISHED WALLS



Second Floor Plan
SCALE: 1/4" = 1'-0"



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PROPOSED DISPENSARY
for
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828 W Genesee Street Rd, Skaneateles, NY
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Revisions	Date
Description	
No.	

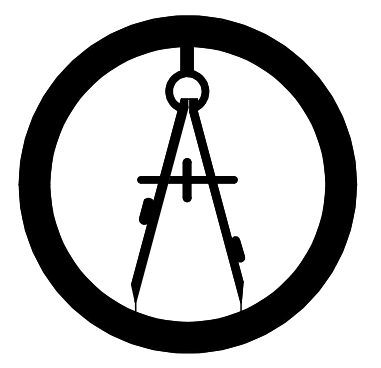
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Date: xx/xx/24
Scale: 1/4" = 1'-0"

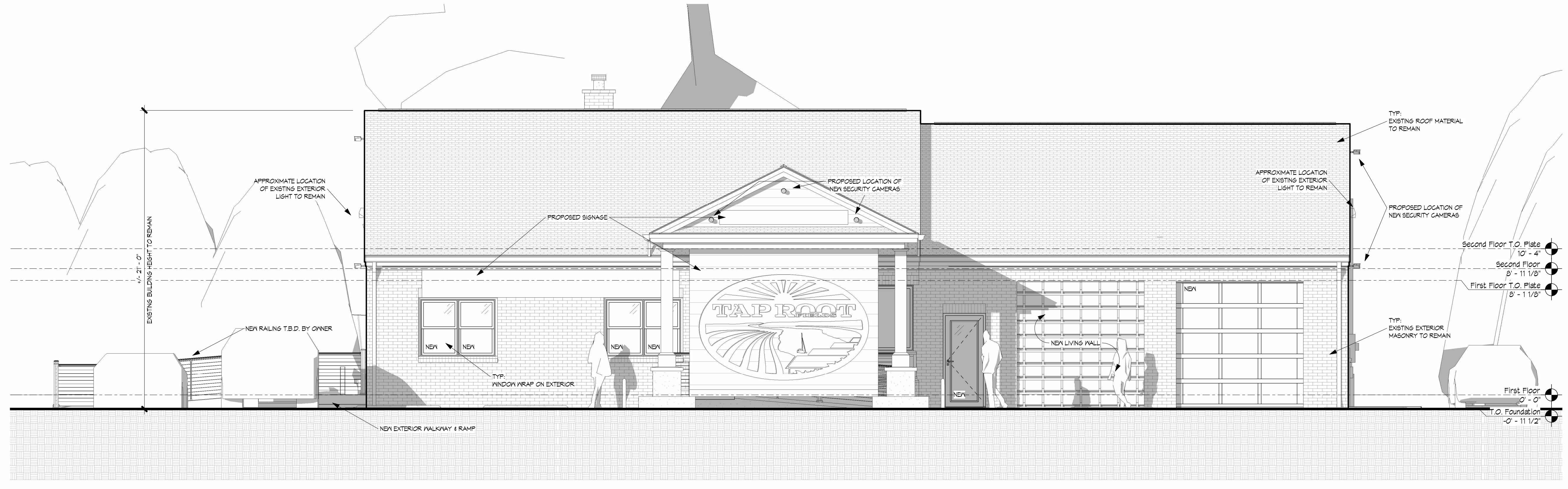
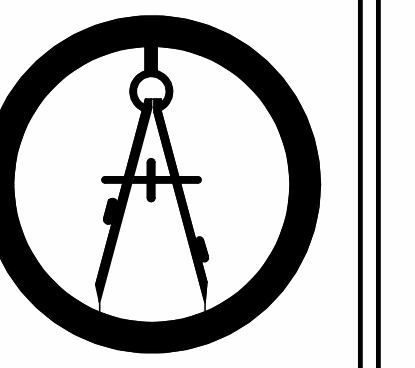
Drawn by: Author
Checked by: Checker

Second Floor Plan

6.25.24
Z-4



No.	Revisions Description	Date



1 Building Elevation - South
 Z-5 SCALE: 1/4" = 1'-0"



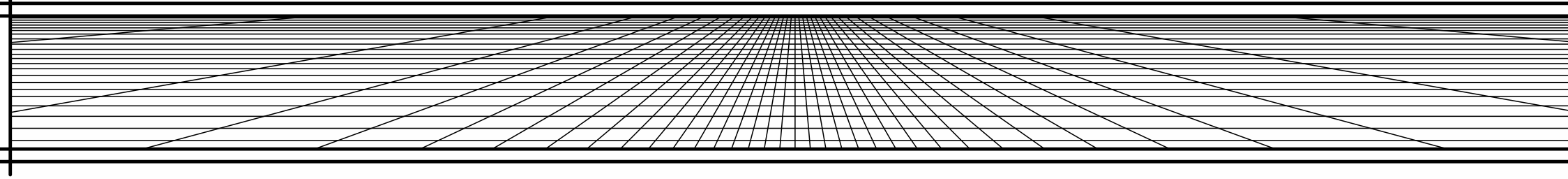
2 Existing Building Elevation - South
 Z-5



3 Proposed Building Elevation - South (Daytime)
 Z-5



4 Proposed Building Elevation - South (Nighttime)
 Z-5



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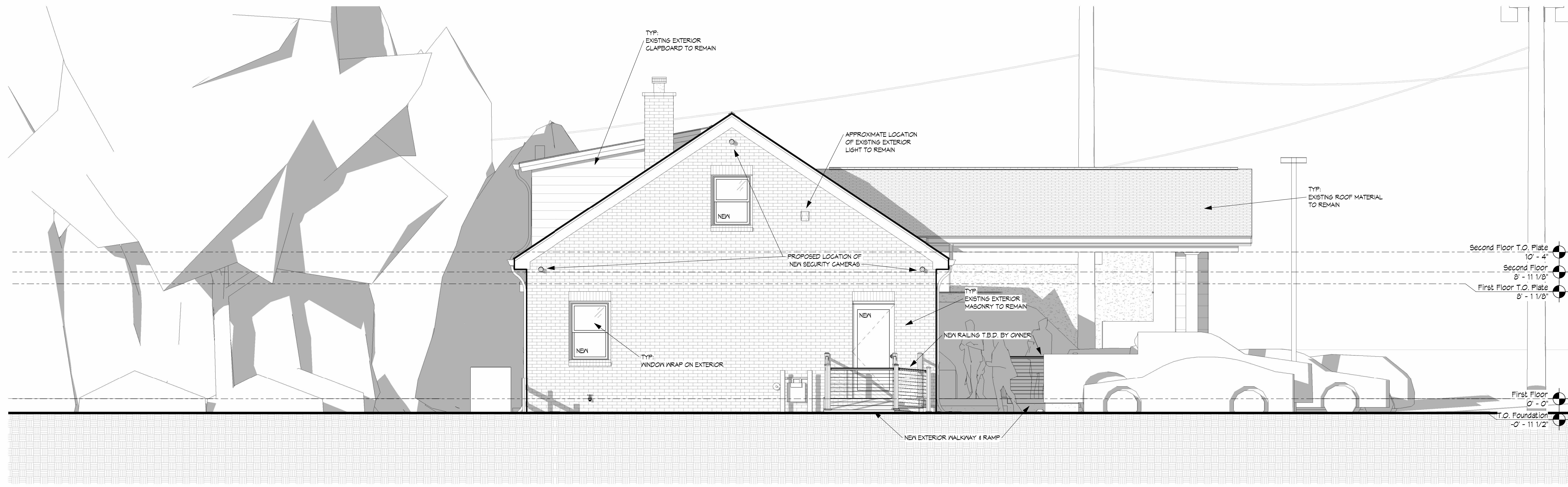
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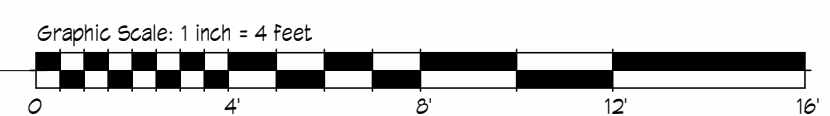
Building Elevation -
 South

6.25.24
Z-5

No.	Revisions Description	Date



1 Building Elevation - West
 Z-6 SCALE: 1/4" = 1'-0"



2 Existing Building Elevation - West
 Z-6



3 Proposed Building Elevation - West (Daytime)
 Z-6



4 Proposed Building Elevation - West (Nighttime)
 Z-6

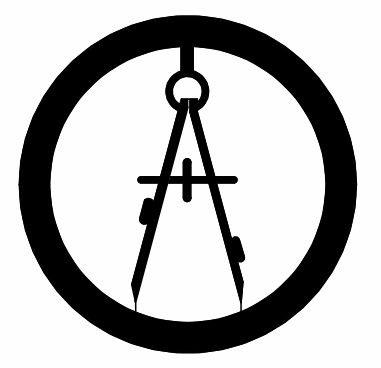
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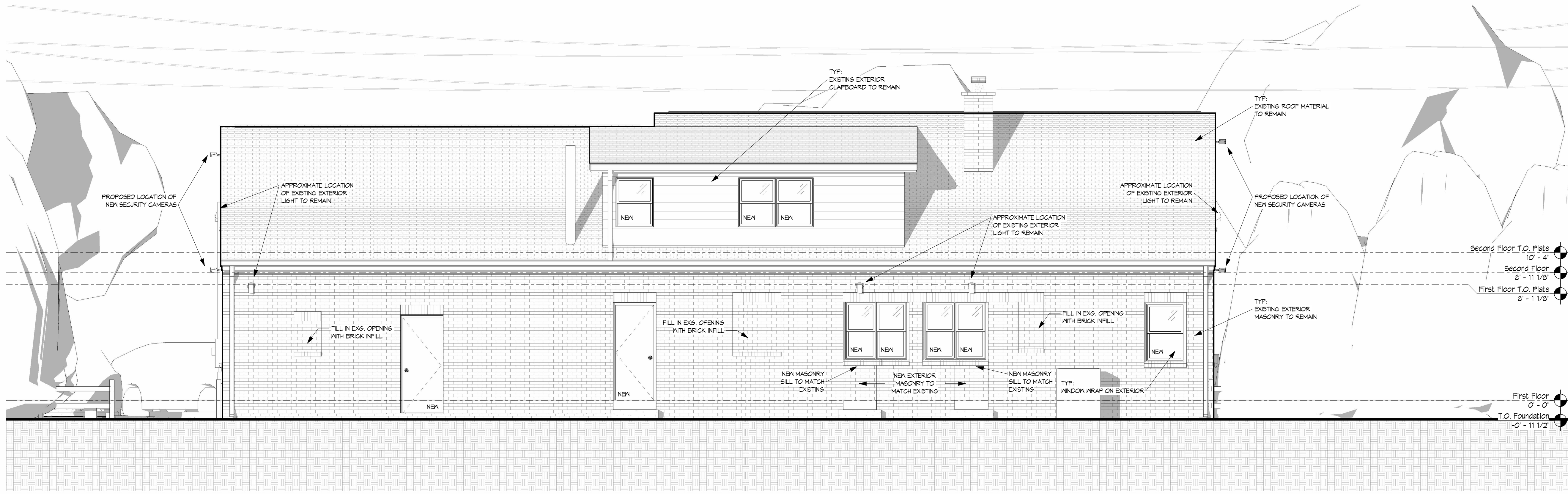
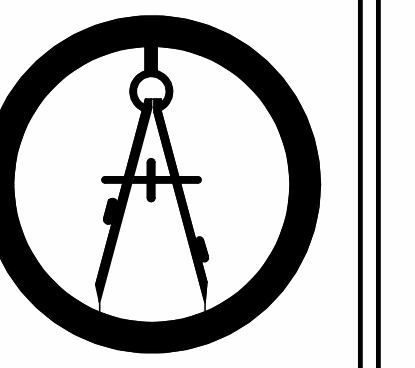
Project Number:	2024-35	Drawn by:	Author
Date:	xx/xx/24	Checked by:	Checker
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Building Elevation -
 West

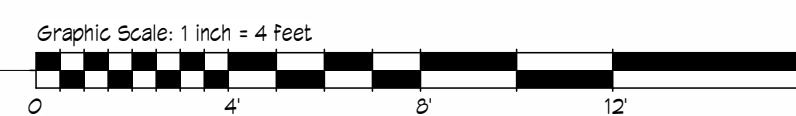
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Z-6



No.	Revisions Description	Date



1 Building Elevation - North
 Z-7 SCALE: 1/4" = 1'-0"



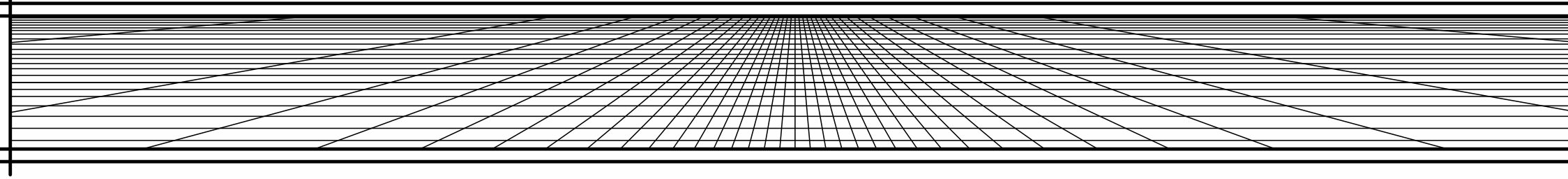
2 Existing Building Elevation - North
 Z-7



3 Proposed Building Elevation - North (Daytime)
 Z-7



4 Proposed Building Elevation - North (Nighttime)
 Z-7



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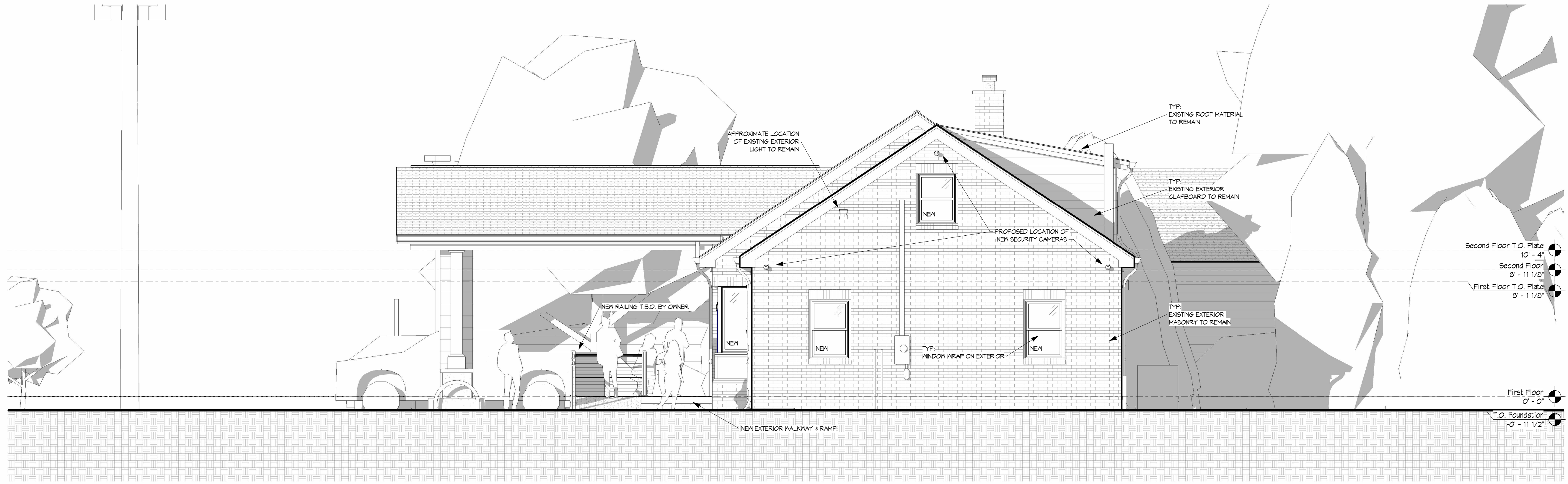
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Scale:	As indicated		

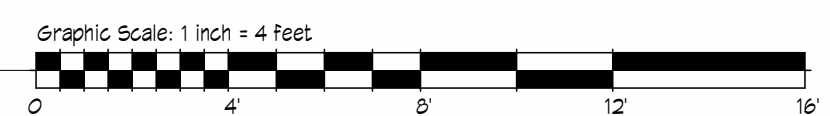
Building Elevation - North
Z-7

6.25.24

No.	Description	Date



1 Building Elevation - East
 Z-8 SCALE: 1/4" = 1'-0"



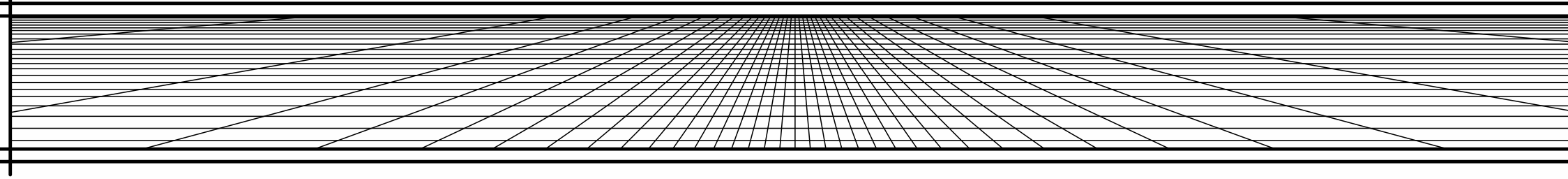
2 Existing Building Elevation - East
 Z-8



3 Proposed Building Elevation - East (Daytime)
 Z-8



4 Proposed Building Elevation - East (Nighttime)
 Z-8



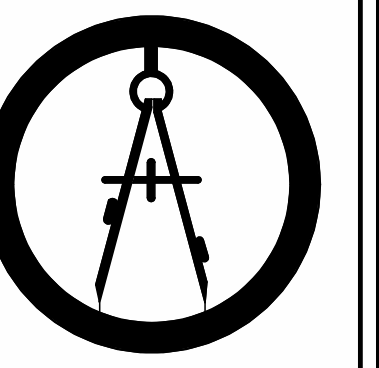
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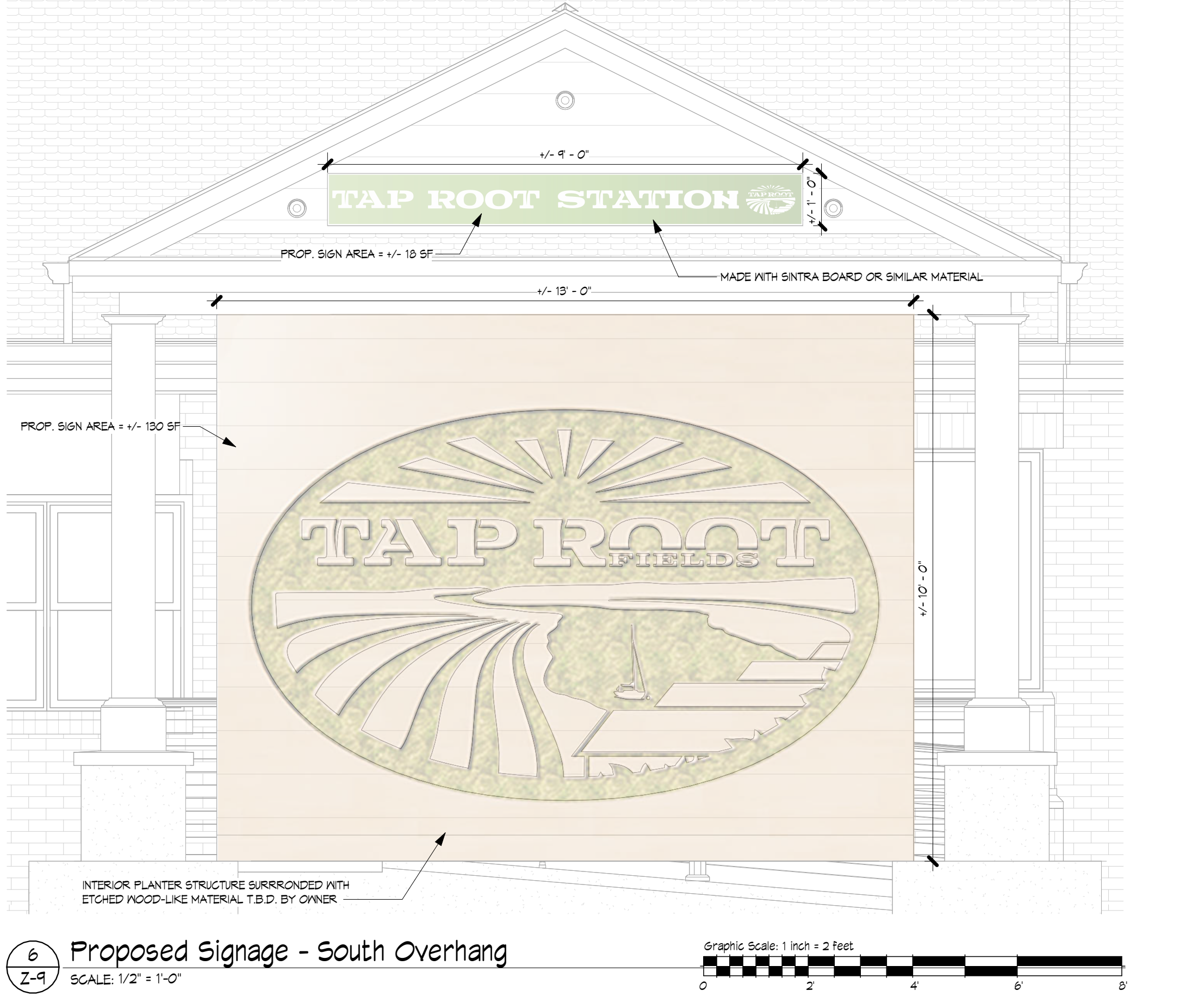
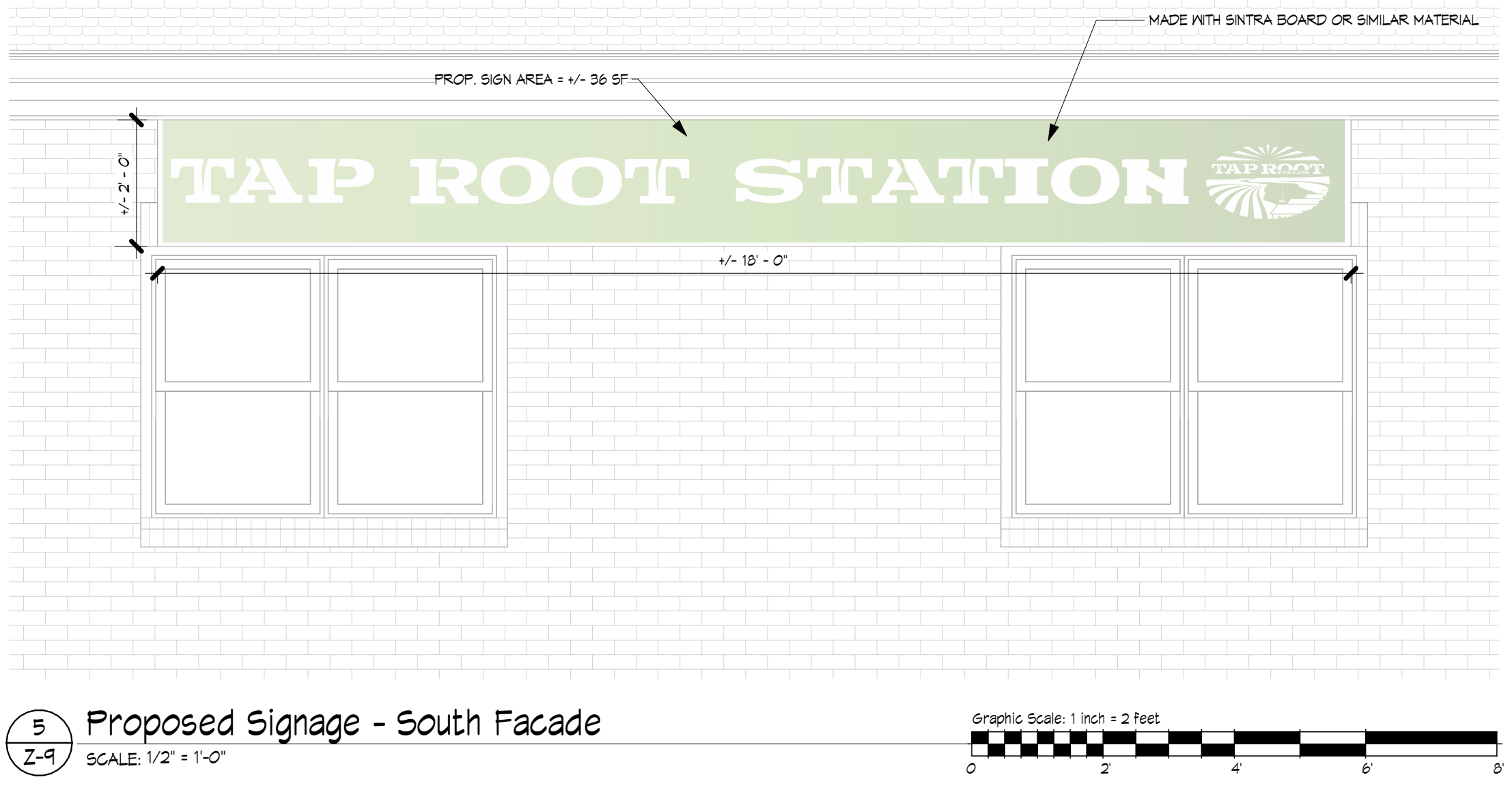
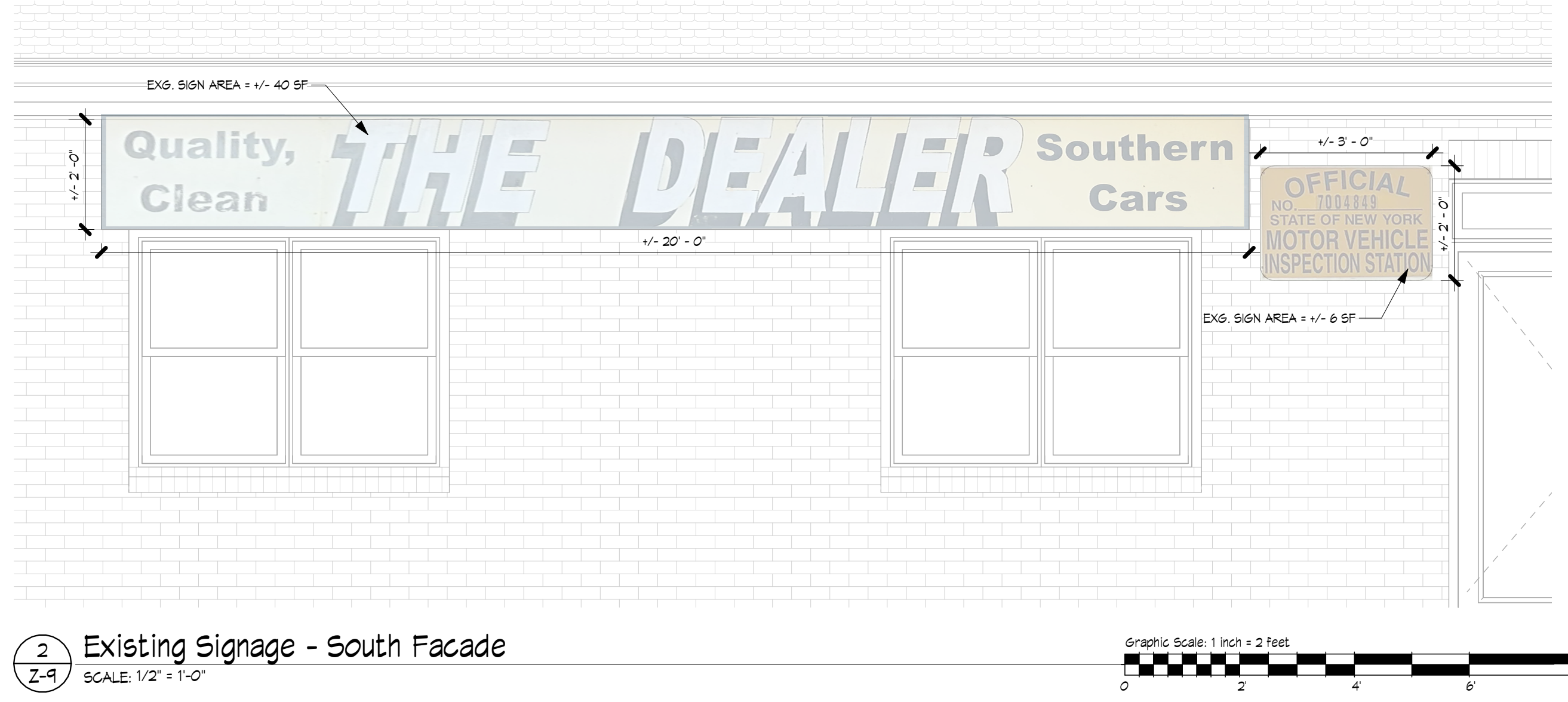
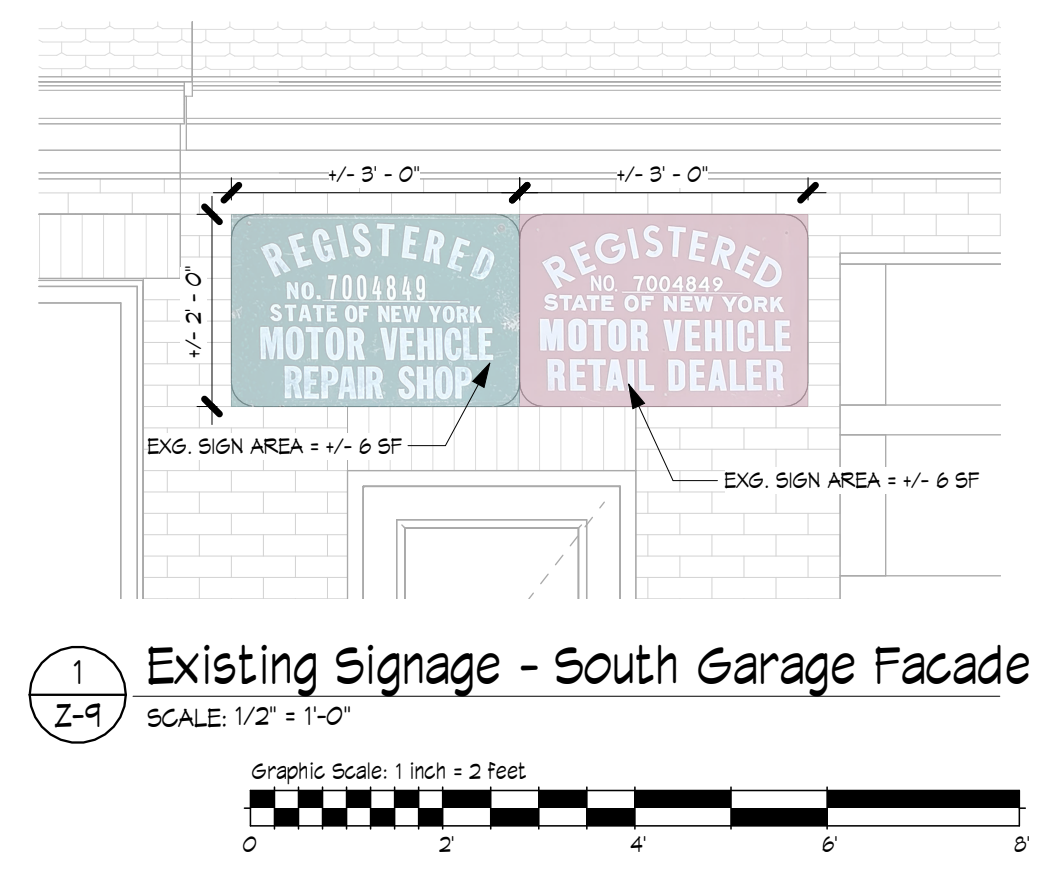
Project Number:	2024-35	Drawn by:	Author
Date:	xx/xx/24	Checked by:	Checker
Scale:	As indicated		

Building Elevation - East

6.25.24
Z-8



EXG. + PROP. SIGNAGE AREA	
EXISTING SIGNAGE AREA:	
EXISTING SIGN	1/4" = 40.0 SF
EXISTING SIGN	1/4" = 6.0 SF
EXISTING SIGN	1/4" = 6.0 SF
EXISTING SIGN	1/4" = 6.0 SF
TOTAL EXISTING	1/4" = 50.0 SF
PROPOSED SIGNAGE AREA:	
PROPOSED SIGN	1/4" = 130.0 SF
PROPOSED SIGN	1/4" = 10.0 SF
PROPOSED SIGN	1/4" = 36.0 SF
TOTAL PROPOSED	1/4" = 184.0 SF



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Phone: (315) 685-0540 Email: admin@spacearchstudio.com

PROPOSED DISPENSARY
for
828 W Genesee St Rd LLC
828 W Genesee Street Rd, Skaneateles, NY
13152

Revisions	Date
Description	
No.	

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE PRIOR TO THE COMPLETION OF ANY WORK AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES FOUND.
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Date:	xx/xx/24	Checked by:	Checker
Scale:	As indicated		

Existing and Proposed Signage

6.25.24
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