

Town of Skaneateles Zoning Board of Appeals (ZBA)

INSERT: AREA Variance

(Pursuant to §148-10-10.E)

Contact Town Staff if you need assistance.

Applicant Name: SUNN 1017 LLC
Property Tax Map# 018.-04-31.1 & 018.-04-29.1

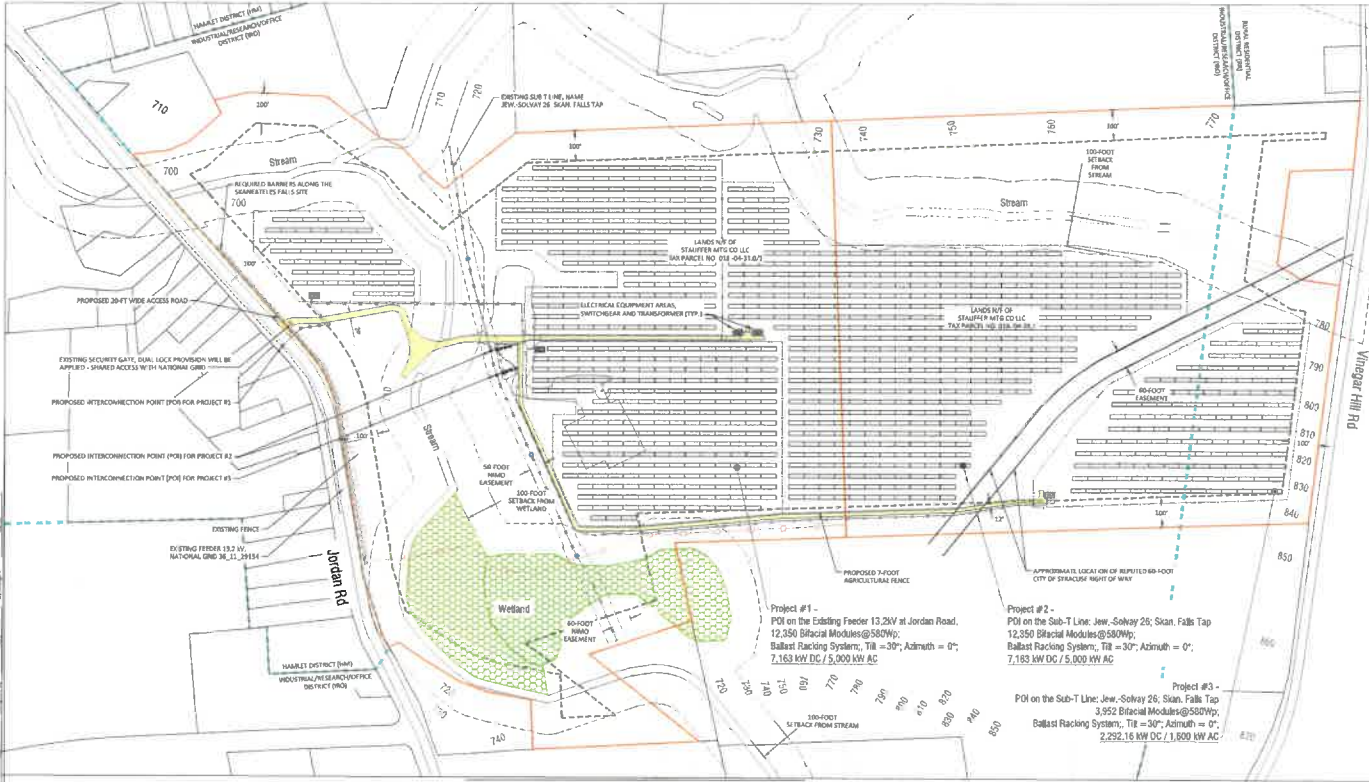
The applicant understands that: (please mark or check to acknowledge that you have read each)

- The area variances, if granted shall be the minimum variance necessary and adequate, while preserving and protecting the character of the neighborhood and the health, safety and welfare of the community.
- The ZBA shall consider the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community. It shall consider that Skaneateles Lake is a public water supply and shall not grant any variance that, individually or in combination with other variances, may result in pollution of the lake from more intensive use of property, encroachment into required lake yards, additional surface water runoff or subsurface leaching of septic waste or any other factors.

The applicant **shall respond in writing** to the following required criteria. (use additional sheets if needed)

1. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance.
Applicant response: Existing and proposed vegetative screening and existing topography will prevent the residential character of the properties along Jordan Road and Vinegar Hill Road from experiencing any undesirable change.
2. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance.
Applicant response: The project layout requires solar panel arrays in excess of the 25% maximum lot coverage in order to create the proposed off-site/community solar energy systems.
3. Whether the requested area variance is substantial.
Applicant response: An increase from 25% to 40% maximum lot coverage is requested. Given the large scale of the subject parcels and that the majority of the area will still be left as open space, this increase will not create any substantial negative affects compared to the permitted lot coverage.
4. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
Applicant response: Existing and proposed vegetative screening and existing topography as well as proposed setbacks will prevent adverse physical impacts to the surrounding area. Environmental impacts will be mitigated through the SEQR process.
5. Whether the alleged difficulty was self-created, which shall be relevant to the decision of the Board, but which shall not necessarily preclude the granting of the area variance.
Applicant response: There is no self-created difficulty or hardship that this variance seeks to relieve.

TURN OVER - for REQUIRED SUBMISSIONS



IF A INCLUDING THE NEW SOLAR ENERGY SYSTEM, THE TOTAL AREA OF THE SITE IS APPROXIMATELY 100 ACRES. THE SOLAR ARRAY AREA IS APPROXIMATELY 10 ACRES. THE WETLAND AREA IS APPROXIMATELY 10 ACRES. THE STREAM AREA IS APPROXIMATELY 10 ACRES. THE TOTAL AREA OF THE SITE IS APPROXIMATELY 100 ACRES.

JORDAN ROAD SOLAR ENERGY SYSTEM

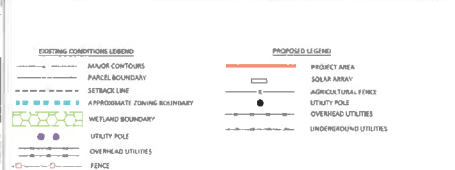
PRELIMINARY CONCEPTUAL SITE LAYOUT

TOWN OF SKANEATELES
ONONDAGA COUNTY, NEW YORK

B & L
Landscape Architecture
Liverpool, NY
13088

Barton & Loggibee, D.P.C.

DATE: OCTOBER 2024
SCALE: AS SHOWN
SHEET NUMBER: C101
PROJECT NUMBER: 2271.010.001



ZONING INFORMATION

CODE APPLIED	TOWN OF SKANEATELES
ZONING DISTRICT	INDUSTRIAL/RESEARCH/OFFICE DISTRICT - IRO
PROPOSED USE	RURAL RESIDENTIAL DISTRICT - RR COMMERCIAL SOLAR ENERGY SYSTEM
	REQUIRED PROPOSED
MIN. LOT AREA	20 ACRES >117.4 ACRES
MAX. HEIGHT/PROJECTION	15' <15' AT MAX. TILT
MAX. SOLAR ARRAY PERCENT LOT AREA	50% >36%
SETBACKS	MIN. 100' FRONT SETBACK 100 FEET MIN. 100' SIDE SETBACK 100 FEET MIN. 100' REAR SETBACK 100 FEET

REVIEW ONLY NOT FOR CONSTRUCTION