

Tax Map ID#054.-03-01.1

NOTICE OF HEARING

PLEASE TAKE NOTICE that pursuant to Section 148-4, 148-5 148-6 148-7 148-8 and 148-10 of the Zoning Law of the Town of Skaneateles 2020 and Section 274-a and 274-b Town Law of the State of New York, the Planning Board of the Town of Skaneateles will hold a Public Hearing on the application of Jennifer and Daniel Seidberg for a Special Permit/Site Plan Review.

The application is for the construction of onshore retaining walls and shoreline deck, and expansion of offshore structures including steps, platform, and permanent dock.

The property in question is located at 2500 Lakefront Lane in the Town of Skaneateles, New York and bears Tax Map ID#054.-03-01.1

A copy of the application is available for inspection at the Town Hall, 24 Jordan Street, Skaneateles, New York.

SAID HEARING will be held on *Tuesday July 16, 2024 at 6:50 p.m.* at the Town Offices, 24 Jordan Street, Skaneateles, New York or electronically as required by local and/or Executive Orders applicable to COVID 19. At that time all people will be heard or have an opportunity to provide written comment on this application.

Donald Kasper, Chair
Planning Board -Town of Skaneateles
Dated: July 2, 2024

EGGLESTON & KRENZER ARCHITECTS, PC
The Trolley Bldg
1391 East Genesee Street
Skaneateles, New York 13152

Town of Skaneateles Planning Board
24 Jordan Street, Skaneateles, NY 13152

June 6, 2024

Re: Daniel and Jennifer Seidberg- Shoreline Restoration
Site Plan Review and Special Permit
2500 Lakefront Lane Tax Map # 054.-03-01.1

NARRATIVE

The Seidberg property is 17,536 SF, 91.6 ft of lake frontage and 91 ft frontage on Lakeview Lane in the RF District and Skaneateles Lake watershed. It has a single family dwelling with detached garage, porches, patio, sheds and stairs down to a 181 SF deck/dock at the shoreline. The ISC is 15.9% and TSC to 19.6%. The on-shore structures total 354 SF and off-shore structures are 258 SF where 400 SF and 800 SF are allowed respectfully. The half of the area within 50 ft of the Lake is steep slope greater than 30% that has severe erosion and undermined issues.

This application is to construct a seawall and two additional retaining walls to stabilize the bank, rebuild the stairs to the lake adding a 11' x 14.5' deck and rebuild the dock with a 100 SF platform at the Lake. The total off-shore improvements are 742 SF and the total on-shore improvements 400 SF. The ISC will remain 15.9%. The TSC will be 19.8%. This will allow for winter storage of the temporary dock sections and boat hoists.

The perimeter envelope is 2,005 SF. The side yard setback from the property line projected from the center line of the Lake is 15.6 ft on the north and 10 ft on the south. The level of the dock will be at 100-year flood level (867.0 ft) and no higher than 6 ft above the lake bed.

A floating silt curtain will be placed around the dock and work area during construction and will be removed after the lake water has cleared. Most of the work will be done from a barge. The tiers between the retaining walls will be landscaped with native species bushes, ground cover and trees.

Site Plan Review for the shoreline structures and bank stabilization is required and a Special Permit for the change of grade within 50 ft of the lake line.

CONSTRUCTION SEQUENCE

- 1) Install floating silt curtain and sediment logs and maintain during construction.
- 2) Remove existing dock/deck structure.
- 3) Construct tiered retaining walls utilizing the cut and fill of the existing bank
- 4) Install new steel piles and frame work for dock and platform.
- 5) Install dock, deck and platform surface decking. Construct stairs and fences.
- 6) Plant ground cover, bushes and trees surrounded by mulch.
- 7) After lake water is clear, remove floating silt curtain.

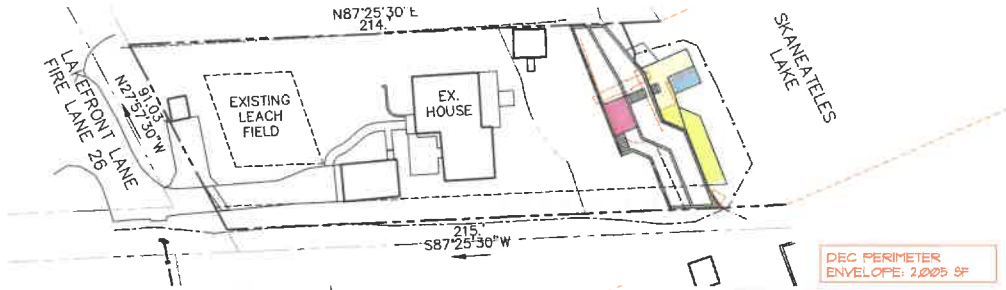
(315) 685-8144

Member of the American Institute of Architects



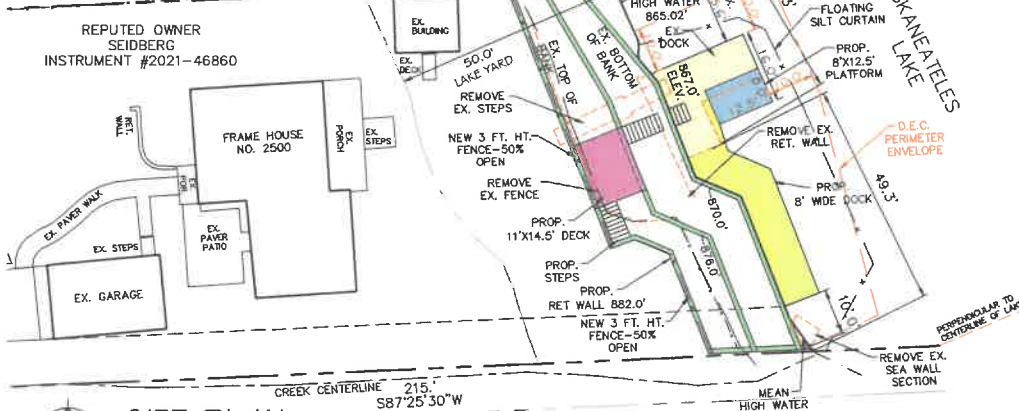
KEY PLAN

SC.: 1" = 40'-0"
 SITE INFORMATION IS OBTAINED FROM SURVEY DONE BY PAUL J. OLSZEWSKI, P.E., L.L.S. DATED 03/15/2022
 ADDITIONAL INFORMATION BY EGGLESTON & KRENZER ARCHITECTS P.C.



N87°25'30"E
 214.1'

REPUTED OWNER
 SEIDBERG
 INSTRUMENT #2021-46860



SITE PLAN

SC.: 1" = 20'-0"
 SITE INFORMATION IS OBTAINED FROM SURVEY DONE BY PAUL J. OLSZEWSKI, P.E., L.L.S. DATED 03/15/2022
 ADDITIONAL INFORMATION BY EGGLESTON & KRENZER ARCHITECTS P.C.

LOT AREA	17596 SF
SHORELINE	916 LF (422'+493')
IMPERMEABLE COVERAGE	
	EXIST. PROPOSED
HOUSE/PORCH	1,422 SF 1,422 SF
LAKESIDE BLDG.	173 SF 173 SF
SHED	80 SF 80 SF
GRAVEL DRIVE	715 SF 715 SF
GRAVEL STEPS	11 SF 11 SF
GARAGE	384 SF 384 SF
TOTAL	2,785 SF 2,789 SF
% IMPERMEABLE	15.8 % 15.8 %

TOTAL COVERAGE	
	EXIST. PROPOSED
STEPS	125 SF 120 SF
DECK	112 SF 183 SF
PAVER PATIO	214 SF 214 SF
PAVER WALK	180 SF 180 SF
PERMEABLE	641 SF 607 SF
IMPERMEABLE	2,189 SF 2,189 SF
TOTAL	3,430 SF 3,476 SF
% TSC	19.6 % 19.8 %

LAKE FRONT STRUCTURES	
ONSHORE	400 SF ALLOWED
	EXIST. PROPOSED
BUILDING	173 SF 173 SF
DECK	90 SF 161 SF
STEPS	91 SF 66 SF
TOTAL	354 SF 400 SF
OFFSHORE	800 SF ALLOWED
	EXIST. PROPOSED
DOCK	248 SF 642 SF
STEPS	10 SF 0 SF
PLATFORM	0 SF 100 SF
TOTAL	258 SF 742 SF

SITE PLAN

DAN SEIDBERG
 2500 LAKEFRONT LANE
 TN. OF SKANEATELES, NY

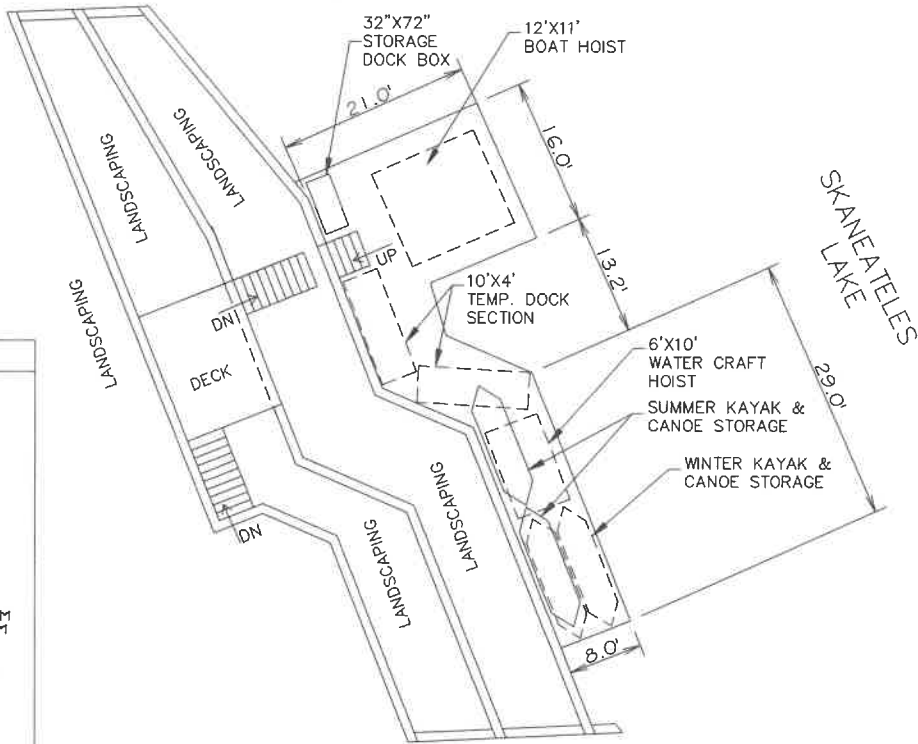
architect

EGGLESTON & KRENZER, ARCHITECTS PC
 1391 EAST GENESEE STREET
 SKANEATELES, NY 13152
 (315) 685-8144

PROJ: 22125

DATE:
 6 JUNE 2024

PART SHADE NATIVES	
TREES	
BLACK BIRCH	
AMERICAN HOLLY	
SWEETBAY MAGNOLIA	
SHRUBS	
BLACK BIRCH	
AMERICAN HOLLY	
SWEETBAY MAGNOLIA	
ANGLANCHIER	
RED OSIER DOGWOOD	
INKBERRY HOLLY	
WINTERBERRY HOLLY	
MOUNTAIN LAUREL	
NANNYBERRY VIBURNUM	
BLACK HAW VIBURNUM	
INKBERRY	
CHOKEBERRY	
EASTERN ARBORVITAE	
PERENNIALS	
ASTER	
TURTLEHEAD	
JOE PYE WEED	
CARDINAL FLOWER	
BLACK-EYED SUSAN	
NORTHERN OAT GRASS	
CINNAMON FERN	
INTERRUPTED FERN	
WOODLAND GERANIUM	
CONEFLOWER	



SITE PLAN

SC.: 1"=10'-0"

SITE INFORMATION IS OBTAINED FROM SURVEY
 DONE BY PAUL J. OLSEWUSKI, P.E., L.L.S. DATED 09/15/2022
 ADDITIONAL INFORMATION BY EGGLESTON & KRENZER
 ARCHITECTS P.C.

WINTER STORAGE
 DAN SEIDBERG
 2500 LAKEFRONT LANE
 TN. OF SKANEATELES, NY

architect
 EGGLESTON & KRENZER, ARCHITECTS P.C.
 1391 EAST GENESEE STREET
 SKANEATELES, NY 13152
 (315) 685-8144

PROJ: 22125

DATE:
 8 JUL 2024

1A OF 1