



SUNN 1017 LLC (Jordan Road Solar) Area Variance Attachment
December 3, 2024

Variance Narrative

In order to complete a viable solar project, individual parcels are required for each of the three solar projects to maintain each project no greater than 5MW. Refer to the table below which documents the variances (in bold text) being pursued for each of the proposed subdivision lots. The sought variances are not substantial and will not produce any undesirable changes to the surrounding area or to the environment. The required variances are as follows:

1. It is requested that the 100 FT Rear Minimum Setback be reduced to 20FT for proposed subdivision lots 1 and 2. The 100FT setback is only being encroached upon where sections of the solar farm are being divided internally. Because this encroachment is internal, it is not a burden on any surrounding property owners.
2. It is requested that the 25% Lot Coverage Maximum for Off-Site/Community Solar be increased to 45%. This increase is less than the Lot Coverage Maximums per the Town Zoning Code (IRO District) and is not substantial in comparison to the majority of the subject parcels that will remain open space. The solar use is considered to be a good use of this otherwise undevelopable land.

Subdivision Bulk Regulation Tables

Proposed Subdivision Lot 1

Regulation	Zoning Requirement (IRO District)	Solar Law Requirement	Proposed
Lot Size Minimum	2 Acres	10 Acres	59.3 Acres
Lot Frontage Minimum	300 FT	N/A	1,871 FT
Front Yard Minimum	60 FT	100 FT	100 FT
Side Yard Minimum	50 FT	100 FT	100 FT
Rear Yard Minimum	100 FT	100 FT	20 FT
Lot Coverage Maximum	50%	25%	31%
Impermeable Coverage Maximum	40%	Exempt	2%
Parking Location	Beside or Behind	N/A	N/A
Building Footprint Maximum	300,000 SQFT	N/A	N/A
Building Height Maximum	35 FT	15 FT	15 FT

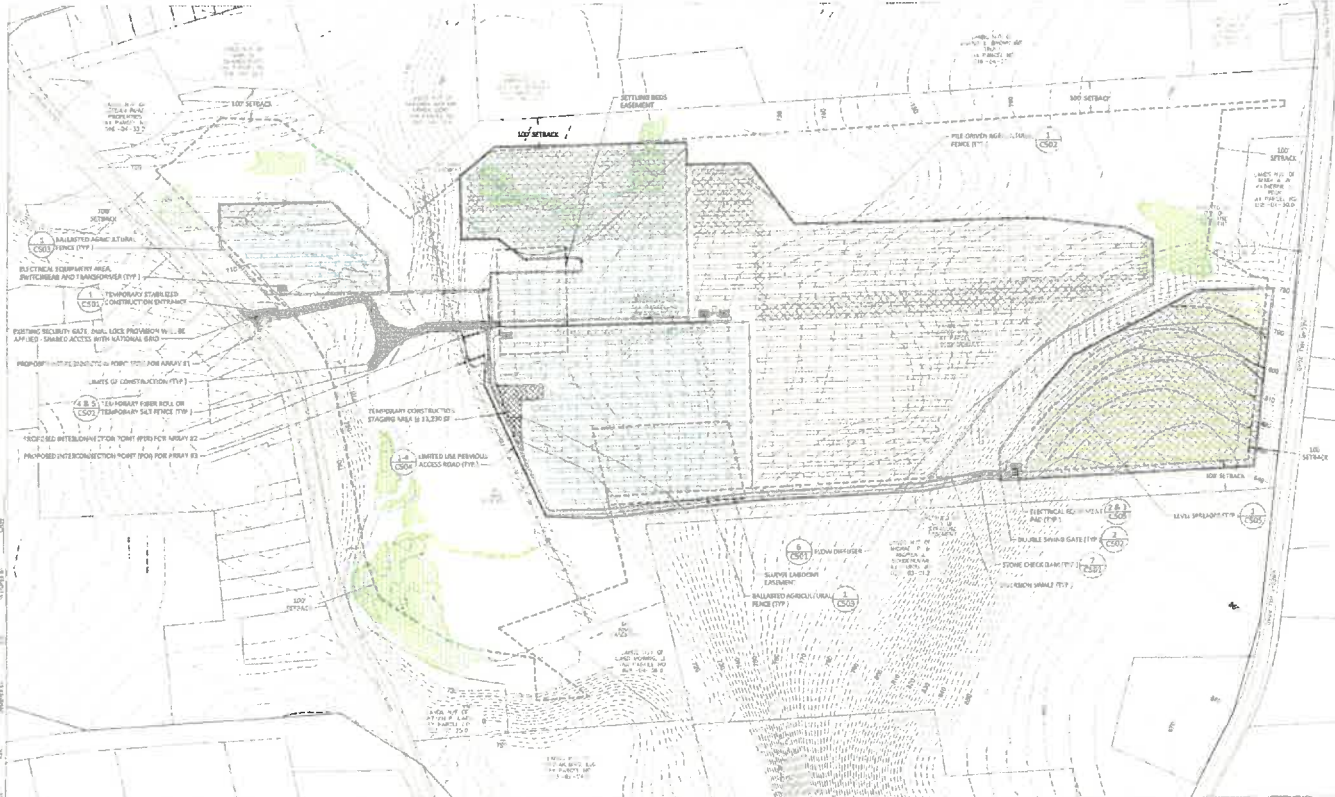


Proposed Subdivision Lot 2

Regulation	Zoning Requirement (IRO District Unless Otherwise Specified)	Solar Law Requirement	Proposed
Lot Size Minimum	2 Acres	10 Acres	42.3 Acres
Lot Frontage Minimum	200 FT (RR)	N/A	225 FT
Front Yard Minimum	60 FT (RR)	100 FT	310 FT
Side Yard Minimum	60 FT (RR)	100 FT	115 FT
Rear Yard Minimum	100 FT	100 FT	20 FT
Lot Coverage Maximum	50%	25%	43%
Impermeable Coverage Maximum	40%	Exempt	1%
Parking Location	Beside or Behind	N/A	N/A
Building Footprint Maximum	300,000 SQFT	N/A	N/A
Building Height Maximum	35 FT	15 FT	15 FT

Proposed Subdivision Lot 3

Regulation	Zoning Requirement (IRO District Unless Otherwise Specified)	Solar Law Requirement	Proposed
Lot Size Minimum	2 Acres	10 Acres	15.8 Acres
Lot Frontage Minimum	200 FT (RR)	N/A	781 FT
Front Yard Minimum	60 FT (RR)	100 FT	100 FT
Side Yard Minimum	60 FT (RR)	100 FT	100 FT
Rear Yard Minimum	100 FT	100 FT	107 FT
Lot Coverage Maximum	50%	25%	41%
Impermeable Coverage Maximum	40%	Exempt	1%
Parking Location	Beside or Behind	N/A	N/A
Building Footprint Maximum	300,000 SQFT	N/A	N/A
Building Height Maximum	35 FT	15 FT	15 FT



LEGEND

[Symbol]	100' SETBACK
[Symbol]	100' RETRAIT
[Symbol]	SETTLING BASIN
[Symbol]	TEMPORARY CONSTRUCTION STAGING AREA
[Symbol]	LIMITED USE PERVIOUS ACCESS ROAD
[Symbol]	BALANCED AGRICULTURAL PLOTS
[Symbol]	SUNNY LABORATORY
[Symbol]	ELECTRICAL EQUIPMENT
[Symbol]	STONE CHECK DAM
[Symbol]	PILE DRIVEN AGRI-CULTURAL PERCE

- SOLAR ARRAY NOTE**
1. ALL SOLAR PANELS TO BE INSTALLED AT AN ANGLE OF 30° TO THE HORIZONTAL.
 2. ALL SOLAR PANELS TO BE INSTALLED WITHIN THE PARCELS (100' SETBACK) TO BE BALANCED NEAR TO THE CENTER OF THE PARCELS (100' SETBACK).
 3. ALL SOLAR PANELS TO BE INSTALLED WITHIN THE PARCELS (100' SETBACK) TO BE BALANCED NEAR TO THE CENTER OF THE PARCELS (100' SETBACK).

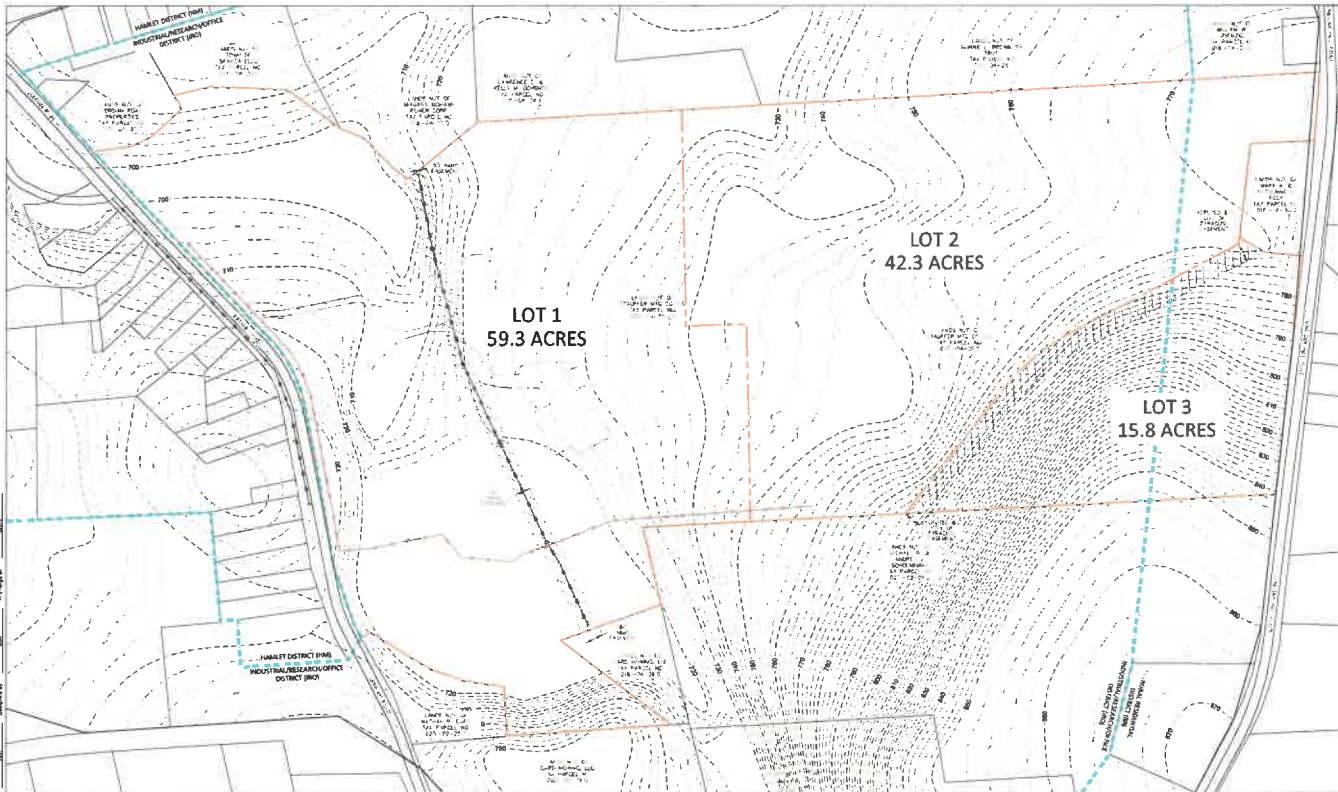
B&L
 B&L Electronics Parkway
 Lyncbrook, NY
 11790
 Recreational & Legislative, C.D.P.C.

Date: NOVEMBER 2024
 Scale: AS SHOWN
 Sheet Number: C101
 Project Number: 2271.010.001

PRELIMINARY CIVIL SITE PLAN
 JORDAN ROAD SOLAR ENERGY SYSTEM
 CHEMUNG COUNTY, NEW YORK
 TOWN OF SAGHARTIES

REVIEW ONLY NOT FOR CONSTRUCTION





4. If a subdivision of the solar energy system is proposed, the applicant shall file a separate solar energy system subdivision map with the appropriate county or city clerk's office. The applicant shall also file a separate solar energy system subdivision map with the appropriate county or city clerk's office. The applicant shall also file a separate solar energy system subdivision map with the appropriate county or city clerk's office.

SUNNICK
JORDAN ROAD SOLAR ENERGY SYSTEM
SUBDIVISION PLAN
 TOWN OF SKANEATELES
 ONONDAGA COUNTY, NEW YORK

LOT 1

REGULATION	REQUIREMENT	PROPOSED
LOT SIZE MINIMUM	2 ACRES	59.3 ACRES
LOT FRONTAGE MINIMUM	300 FT	1,871 FT
FRONT YARD MINIMUM	60 FT	380 FT
SIDE YARD MINIMUM	50 FT	100 FT
REAR YARD MINIMUM	100 FT	26 FT
LOT COVERAGE MAXIMUM	20%	11%
IMPERVIOUS COVERAGE MAXIMUM	40%	2%
PARKING LOCATION	BEHIND OR BEHIND	N/A
BUILDING FOOTPRINT MAXIMUM	500,000 SQ FT	N/A
BUILDING HEIGHT MAXIMUM	35 FT	35 FT

LOT 2

REGULATION	REQUIREMENT	PROPOSED
LOT SIZE MINIMUM	2 ACRES	42.3 ACRES
LOT FRONTAGE MINIMUM	200 FT	235 FT
FRONT YARD MINIMUM	60 FT	310 FT
SIDE YARD MINIMUM	60 FT	115 FT
REAR YARD MINIMUM	100 FT	20 FT
LOT COVERAGE MAXIMUM	30%	43%
IMPERVIOUS COVERAGE MAXIMUM	40%	1%
PARKING LOCATION	BEHIND OR BEHIND	N/A
BUILDING FOOTPRINT MAXIMUM	500,000 SQ FT	N/A
BUILDING HEIGHT MAXIMUM	35 FT	15 FT

LOT 3

REGULATION	REQUIREMENT	PROPOSED
LOT SIZE MINIMUM	2 ACRES	15.8 ACRES
LOT FRONTAGE MINIMUM	200 FT	761 FT
FRONT YARD MINIMUM	60 FT	280 FT
SIDE YARD MINIMUM	60 FT	100 FT
REAR YARD MINIMUM	100 FT	107 FT
LOT COVERAGE MAXIMUM	30%	41%
IMPERVIOUS COVERAGE MAXIMUM	40%	1%
PARKING LOCATION	BEHIND OR BEHIND	N/A
BUILDING FOOTPRINT MAXIMUM	500,000 SQ FT	N/A
BUILDING HEIGHT MAXIMUM	35 FT	15 FT

REVIEW ONLY NOT FOR CONSTRUCTION

Date: NOVEMBER 2024
 Scale: AS SHOWN
 Sheet Number: C002
 Project Number: 2271.010.001

REVIEW ONLY NOT FOR CONSTRUCTION