

Tax Map ID#037.-01-04.0

NOTICE OF HEARING

**PLEASE TAKE NOTICE** that pursuant to Section 148-10 of the Zoning Law of the Town of Skaneateles of 2020 and Section 267-b Town Law of the State of New York, the Zoning Board of Appeals of the Town of Skaneateles will hold a Public Hearing on the Application of Christopher Nulty.

The proposal is to maintain the shed on a property increasing the nonconforming impermeable surface coverage and footprint on the lot.

The involved Sections of the Skaneateles Town Code are Section 148-8-9-A.1.g.i.a Nonconforming Building Limitations and 148-8-9-G Increasing Nonconforming Impermeable Surface Coverage.

The total footprint of all principal and accessory buildings shall not exceed 6% of the lot area, whereas the site plan shows the noncompliant shed increasing the total footprint over 6% of the lot area.

In no case shall the applicant be permitted to increase nonconforming impermeable surface coverage on a lot whereas the applicant is proposing to maintain the noncompliant shed on the lot that would increase the impermeable surface coverage.

The property in question is located at **2699 East Lake Road** in the Town of Skaneateles, New York, and bears Tax Map ID #037.-01-04.0.

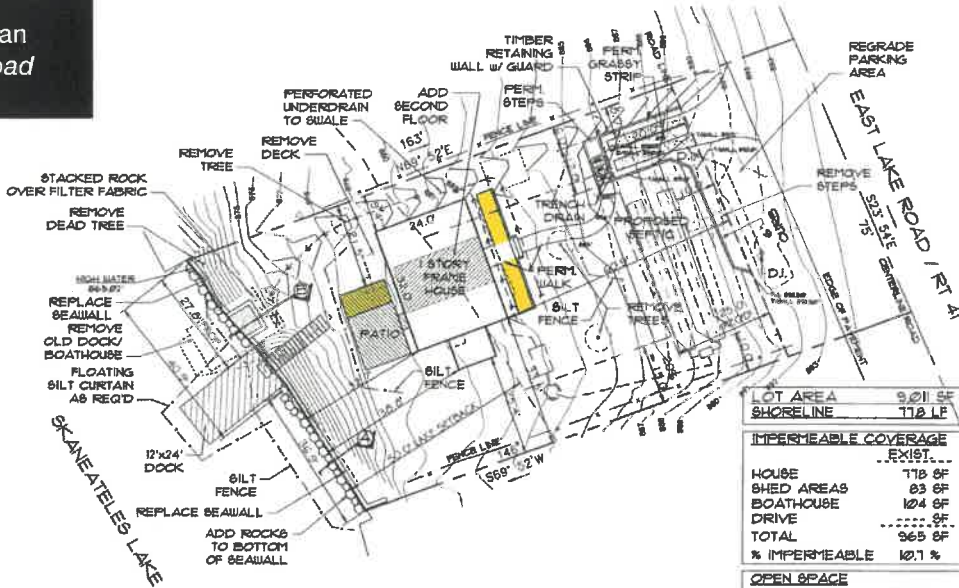
A Copy of the application is available for inspection at the Town Hall, 24 Jordan Street, Skaneateles, New York.

**Said Hearing** will be continued on *Tuesday, February 7, 2023 at 7:02 pm* at the Town Hall, 24 Jordan Street, or electronically as required by local and/or Executive Orders applicable to COVID-19. At that time, or for a period of time thereafter, all persons will be heard or have an opportunity to provide written comment on this application.

Denise Rhoads, Chair  
Zoning Board of Appeals  
Town of Skaneateles

Dated: January 25, 2023

Current Site Plan  
2699 E Lake Road



*Robert O. Eggleston*



**SITE PLAN**

1" = 20' - 0"

SITE INFORMATION IS OBTAINED FROM SURVEY  
DONE BY PAUL JAMES OLSEWICKI, P.L.S., PLLC DATED JUNE 21 2017  
ADDITIONAL INFORMATION BY ROBERT O. EGGLESTON

LOT AREA	9,011 SF	
SHORELINE	118 LF	
<b>IMPERMEABLE COVERAGE</b>		
	EXIST.	APPROVED PROPOSED
HOUSE	118 SF	846 SF
SHED AREAS	83 SF	0 SF
BOATHOUSE	104 SF	0 SF
DRIVE	0 SF	119 SF
TOTAL	305 SF	965 SF
% IMPERMEABLE	10.7 %	10.7 %
<b>OPEN SPACE</b>		
	EXIST.	APPROVED PROPOSED
PATIO	54 SF	116 SF
STEPS	66 SF	70 SF
WALK	0 SF	144 SF
STEPS/RET. WALL	0 SF	58 SF
PERMEABLE	120 SF	448 SF
IMPERMEABLE	305 SF	965 SF
TOTAL	1,085 SF	1,413 SF
% OPEN AREA	89.3 %	89.3 %
<b>LAKE FRONT STRUCTURES</b>		
	EXIST.	APPROVED PROPOSED
BOAT HOUSE	104 SF	0 SF
STEPS	46 SF	70 SF
DECK	54 SF	116 SF
TOTAL	204 SF	246 SF

**SITE PLAN**  
RICK MOSCARITO  
2699 EAST LAKE ROAD  
TOWN OF SKANEATELES, NY

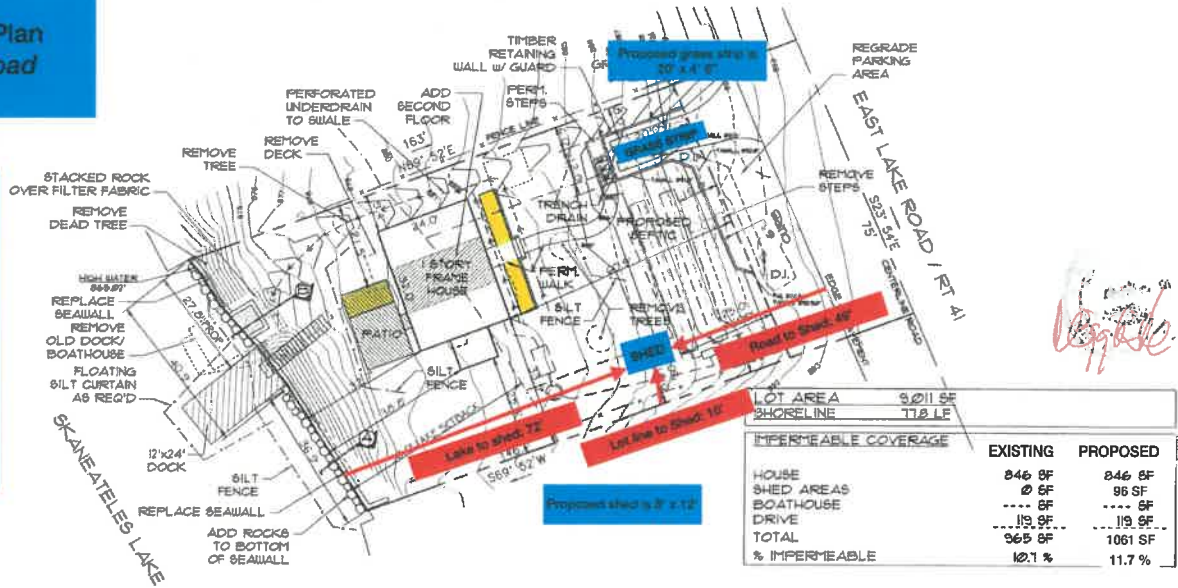
**architect**  
ROBERT O. EGGLESTON  
1391 EAST GENESSEE STREET  
SKANEATELES, NY 13152  
(315) 605-0144

PROJ: 17078

DATE:  
23 JUNE 2017  
14 SEPT 2017  
21 JAN 2020  
26 SEPT 2020  
**1 OF 6**

**Proposed Site Plan  
2699 E Lake Road**

This proposal includes:  
 - The addition of a 12' x 8' shed for items like propane and lawnmowers that cannot be stored in the home  
 - The addition of a 20' x 4' 6" permanent grass strip in the driveway



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