

Tax Map ID#063.-03-10.0

NOTICE OF HEARING

PLEASE TAKE NOTICE that pursuant to Section 148-10 of the Zoning Law of the Town of Skaneateles of 2020 and Section 267-b Town Law of the State of New York, the Zoning Board of Appeals of the Town of Skaneateles will hold a Public Hearing on the Application of Joseph Mollendorf.

The proposal is to replace and expand the shoreline deck, and add a permanent dock.

The involved Section of the Skaneateles Town Code is Section 148-7-1-K.1.a.iii.c. Shoreline Regulations-Dimensional Limits

The total combined square footage of all shoreline structures allowed on lots with less than 100 feet of lake frontage is 400 square feet. The proposal will increase the nonconforming shoreline structures greater than the allowed 400 square feet.

The property in question is located at **1801 Russell's Landing** in the Town of Skaneateles, New York, and bears Tax Map ID #063.-03-10.0.

A Copy of the application is available for inspection at the Town Hall, 24 Jordan Street, Skaneateles, New York.

Said Hearing will be continued on ***Tuesday, October 11, 2022 at 7:20 pm*** at the Town Hall, 24 Jordan Street, or electronically as required by local and/or Executive Orders applicable to COVID-19. At that time, or for a period of time thereafter, all persons will be heard or have an opportunity to provide written comment on this application.

Denise Rhoads, Chair
Zoning Board of Appeals
Town of Skaneateles

Dated: September 28, 2022

SPACE Architectural Studio, P.C.

3 Fennell Street, Suite 2, Skaneateles, N.Y. 13152

Phone: (315) 685-0540 Web: www.spacearchstudio.com



Project Narrative

Joseph C. Mollendorf

Project Location: 1801 Russell's Landing, Skaneateles, N.Y. 13152

Tax Map No.: 063.-03-10.0

Village Zoning District: RF/LOWD

SPACE Architectural Studio project #: 2022-10

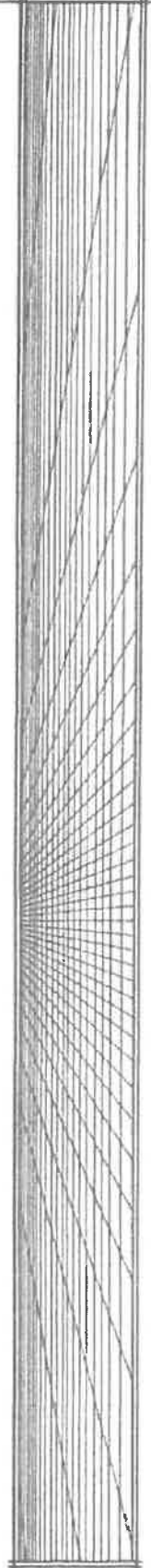
Date: 4 May 2022

Joseph Mollendorf purchased this property as a lakeside retreat for him and his family. He is looking to add more livable space to the home and update the dock and the access to it. The new proposal would demolish the existing dock and replace it with a smaller, newer one.

This project proposes to add a basement to the existing residence to allow for additional living space for the family. It adds an additional bedroom, bathroom and living area. In addition, the new proposal includes a new staircase to access all floors. On the second floor, there are minor changes to the layout to relocate the washer and dryer.

The other aspect of the proposal is a new staircase to access the lake front that is less treacherous. The existing site has a 27-foot height change from the residence to the shoreline and the existing spiral staircase leading down to the dock can be treacherous. The new proposed staircase would integrate into the existing stair, but provide a safer pathway down to the shoreline.

The addition of the proposed walkout basement would not change the existing footprint of the original house and would only be visible from the lakeside. The new dock would reduce the size of the existing dock. The additional staircase will serve to make the site conditions safer for the residents and visitors. Thank you for considering our proposal.



EXISTING CONDITIONS	
ITEM	AREA
EXISTING IMPV. AREA	44,270 SF
EXISTING ASP	11,210 SF
EXISTING DRIVE	4,100 SF
TOTAL	59,580 SF

PROPOSED	
ITEM	AREA
PROPOSED ASP	11,210 SF
PROPOSED DRIVE	4,100 SF
PROPOSED IMPV. AREA	28,270 SF
TOTAL	43,580 SF



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DENSITY CONTROL SCHEDULE						
TOWN OF SHARPLESS / RP - RURAL AND FARMING / LAKE WATERBODY OVERLAY DISTRICT						
	REQD. ALLOWED	EXISTING	PROPOSED	DIFFERENCE	REQD. VARIANCE	CODE REFERENCE
MAXIMUM LOT AREA	6,000 SF	30,000 SF	44,270 SF	14,270 SF	NO VARIANCE	TRC § 100-40-10
MINIMUM LOT AREA	6,000 SF	30,000 SF	44,270 SF	14,270 SF	NO VARIANCE	TRC § 100-40-10
MINIMUM LOT FRONTAGE	6,000 SF	30,000 SF	44,270 SF	14,270 SF	NO VARIANCE	TRC § 100-40-10
MINIMUM LOT DEPTH	6,000 SF	30,000 SF	44,270 SF	14,270 SF	NO VARIANCE	TRC § 100-40-10
MINIMUM LOT WIDTH	6,000 SF	30,000 SF	44,270 SF	14,270 SF	NO VARIANCE	TRC § 100-40-10
MINIMUM FRONT YARD SETBACK	6,000 SF	30,000 SF	44,270 SF	14,270 SF	NO VARIANCE	TRC § 100-40-10
MINIMUM SIDE YARD SETBACK	6,000 SF	30,000 SF	44,270 SF	14,270 SF	NO VARIANCE	TRC § 100-40-10
MINIMUM REAR YARD SETBACK	6,000 SF	30,000 SF	44,270 SF	14,270 SF	NO VARIANCE	TRC § 100-40-10
MINIMUM FRONT SETBACK	6,000 SF	30,000 SF	44,270 SF	14,270 SF	NO VARIANCE	TRC § 100-40-10
MINIMUM SIDE SETBACK	6,000 SF	30,000 SF	44,270 SF	14,270 SF	NO VARIANCE	TRC § 100-40-10
MINIMUM REAR SETBACK	6,000 SF	30,000 SF	44,270 SF	14,270 SF	NO VARIANCE	TRC § 100-40-10

Site Plan
SCALE 1/8" = 1'-0"

Zoning Submitted 05.04.2022

ZONING Z-1

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PROPERTY RENOVATION
Joseph Mollendorf
1801 HARBOR LANE
SHARPLESS, NY 13152



