

Tax Map ID#063.-03-10.0

NOTICE OF HEARING

PLEASE TAKE NOTICE that pursuant to Section 148-4, 148-5 148-6 148-7 148-8 and 148-10 of the Zoning Law of the Town of Skaneateles 2020 and Section 274-a and 274-b Town Law of the State of New York, the Planning Board of the Town of Skaneateles will hold a Public Hearing on the application of Joseph Mollendorf/Joseph C Mollendorf Revocable Trust for a Special Permit/Site Plan Review.

The application is to modify the existing dwelling with the addition of a basement space, and replacement of the lake access stairs.

The property in question is located at 1801 Russell's Landing in the Town of Skaneateles, New York and bears Tax Map ID#063.-03-10.0.

A copy of the application is available for inspection at the Town Hall, 24 Jordan Street, Skaneateles, New York.

SAID HEARING will be held on *Tuesday, July 19, 2022 at 6:45 p.m.* at the Town Offices, 24 Jordan Street, Skaneateles, New York or electronically as required by local and/or Executive Orders applicable to COVID 19. At that time all persons will be heard or have an opportunity to provide written comment on this application.

Donald Kasper, Chair
Planning Board -Town of Skaneateles
Dated: June 28, 2022

SPACE Architectural Studio, P.C.

3 Fennell Street, Suite 2, Skaneateles, N.Y. 13152

Phone: (315) 685-0540 Web: www.spacearchstudio.com



Project Narrative

Joseph C. Mollendorf

Project Location: 1801 Russell's Landing, Skaneateles, N.Y. 13152

Tax Map No.: 063.-03-10.0

Village Zoning District: RF/LOWD

SPACE Architectural Studio project #: 2022-10

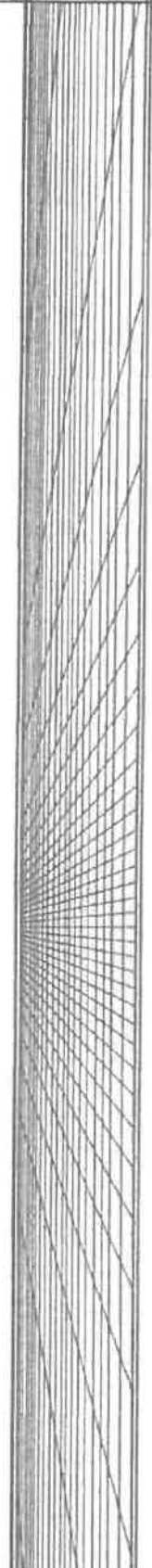
Date: 4 May 2022

Joseph Mollendorf purchased this property as a lakeside retreat for him and his family. He is looking to add more livable space to the home and update the dock and the access to it. The new proposal would demolish the existing dock and replace it with a smaller, newer one.

This project proposes to add a basement to the existing residence to allow for additional living space for the family. It adds an additional bedroom, bathroom and living area. In addition, the new proposal includes a new staircase to access all floors. On the second floor, there are minor changes to the layout to relocate the washer and dryer.

The other aspect of the proposal is a new staircase to access the lake from that is less treacherous. The existing site has a 27-foot height change from the residence to the shoreline and the existing spiral staircase leading down to the dock can be treacherous. The new proposed staircase would integrate into the existing stair, but provide a safer pathway down to the shoreline.

The addition of the proposed walkout basement would not change the existing footprint of the original house and would only be visible from the lakeside. The new dock would reduce the size of the existing dock. The additional staircase will serve to make the site conditions safer for the residents and visitors. Thank you for considering our proposal.



**Project
for
Joseph Mollendorf
1801 Russels Landing
Skaneateles, NY 13152**

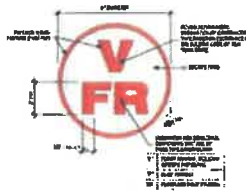
Sheet No.	Sheet Title	Sheet Date	Sheet Size
1	Site Plan	12/15/22	11x17
2	Site Plan	12/15/22	11x17
3	Site Plan	12/15/22	11x17
4	Site Plan	12/15/22	11x17
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- LIST OF MATERIALS OF THIS TYPE**
CONSTRUCTION AND FINISHES
- 1. CONCRETE
 - 2. BRICK
 - 3. STONE
 - 4. METAL
 - 5. WOOD
 - 6. GLASS
 - 7. PAINT
 - 8. FINISHES



- NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
 9. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES.

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PROPERTY RENOVATION
for
Joseph Mollendorf
1801 RUSSELLS LANDING
SKANEATELES, NY 13152

Revisions



Zoning Submittal: 05.04.2022

Title sheet

T-1



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1	Site Plan	12/15/22	11x17
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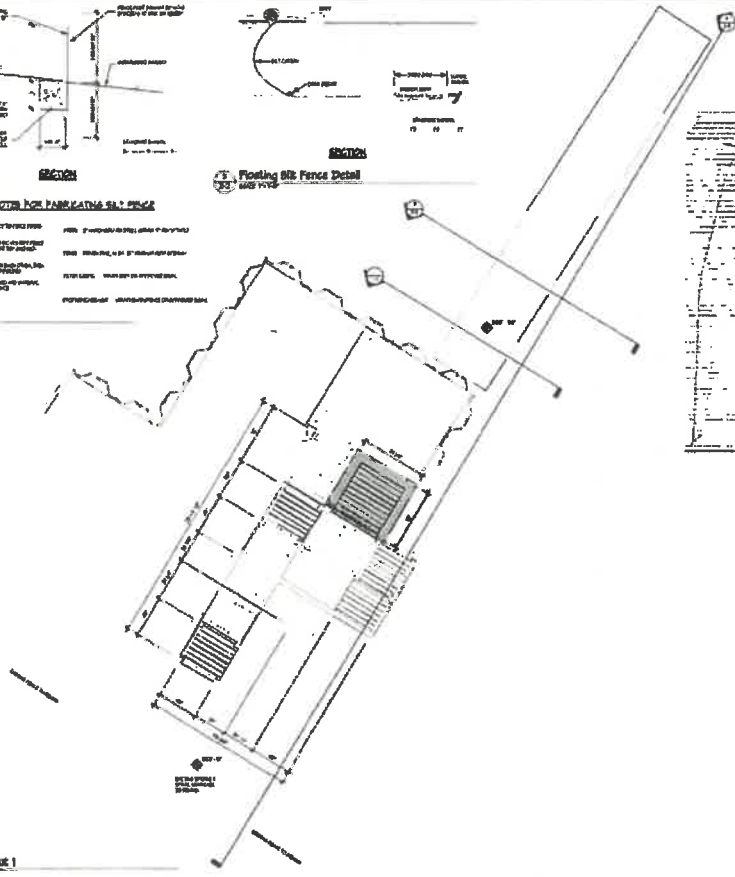


SECTION 1
Floating Bollard Fence Detail
SCALE: 1/2" = 1'-0"

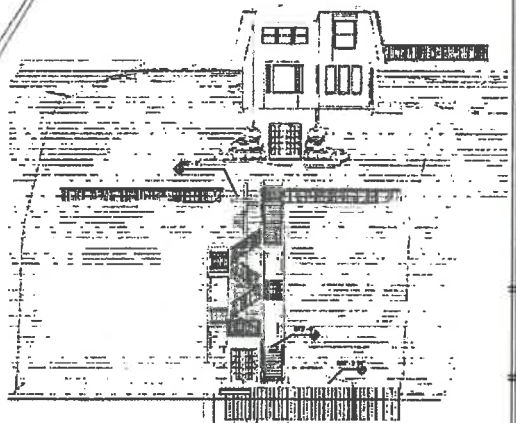
CONSTRUCTION NOTES FOR FABRICATING BOLLARD FENCE

- 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 2. FENCE SHALL BE INSTALLED ON A GRAVEL BEDDING AS SHOWN IN SECTION 1.
- 3. BOLLARD CAPS SHALL BE CAST IN PLACE CONCRETE WITH REINFORCING BARS.
- 4. BOLLARD POSTS SHALL BE GALVANNEAL STEEL WITH AN EPOXY PAINT FINISH.
- 5. ALL CONNECTIONS SHALL BE WELDED OR BOLTED AS SHOWN IN SECTIONS 1 AND 2.
- 6. FENCE SHALL BE INSTALLED TO WITHSTAND A WIND LOAD OF 50 PSF.
- 7. FENCE SHALL BE INSTALLED TO WITHSTAND A SNOW LOAD OF 20 PSF.
- 8. FENCE SHALL BE INSTALLED TO WITHSTAND A SEISMIC LOAD OF 0.1g.

SECTION 2
Bollard Fence Detail
SCALE: 1/2" = 1'-0"



Site Plan - Callout 1
SCALE: 1/8" = 1'-0"



SITE SECTION
SCALE: 1/8" = 1'-0"



BIRD'S EYE VIEW
SCALE: 1/8" = 1'-0"

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM SPACE ARCHITECTURAL STUDIO, P.C.

DATE	07/23/18	PROJECT	18-01
DESIGNER	JOSEPH MOLLENDORF	CLIENT	CHRYSLER
SCALE	AS SHOWN	PROJECT NO.	18-01

Zoning Submittal 05.04.2022

ZONING

Z-2

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PROPERTY RENOVATION
by
Joseph Mollendorf
1501 PENNELL LANE
SKANEATELES, NY 13152

NO.	DATE	REVISION



