

July 31, 2023

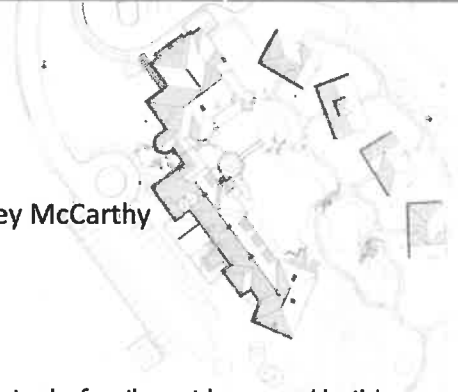
To Town of Skaneateles
24 Jordan St.
Skaneateles, NY 13152

Cc file, City of Syracuse Water Department, Dennis and Tracey McCarthy

From Lawrence E Klee LEED AP, Ramsgard

Project S Lane

Project No. 1317



The McCarthy's would like to obtain approval to renovate the existing single-family residence and build a new detached garage on a 0.6-acre lot in the RF district. The property is an existing nonconforming lot, which was recorded prior to December 7, 2005. The existing residence currently does not comply with the minimum side yard setbacks and the lake frontage. The proposal of the renovations and new structure will comply with all the dimensional requirements except for the minimum lake frontage, which they are requesting a variance of ± 7.30 feet.

By granting the variance a desirable change will be produced in the character of the neighborhood and will not be a detriment to the surrounding properties. The overall aesthetics of the lot will improve and thus improve the overall look for the neighborhood.

The benefit sought by the owner cannot be achieved by any other feasible method. The proposed residence complies with all the dimensional requirements apart from the lake frontage. To obtain the required lake frontage, they would have to obtain property from neighboring lots, which they do not own.

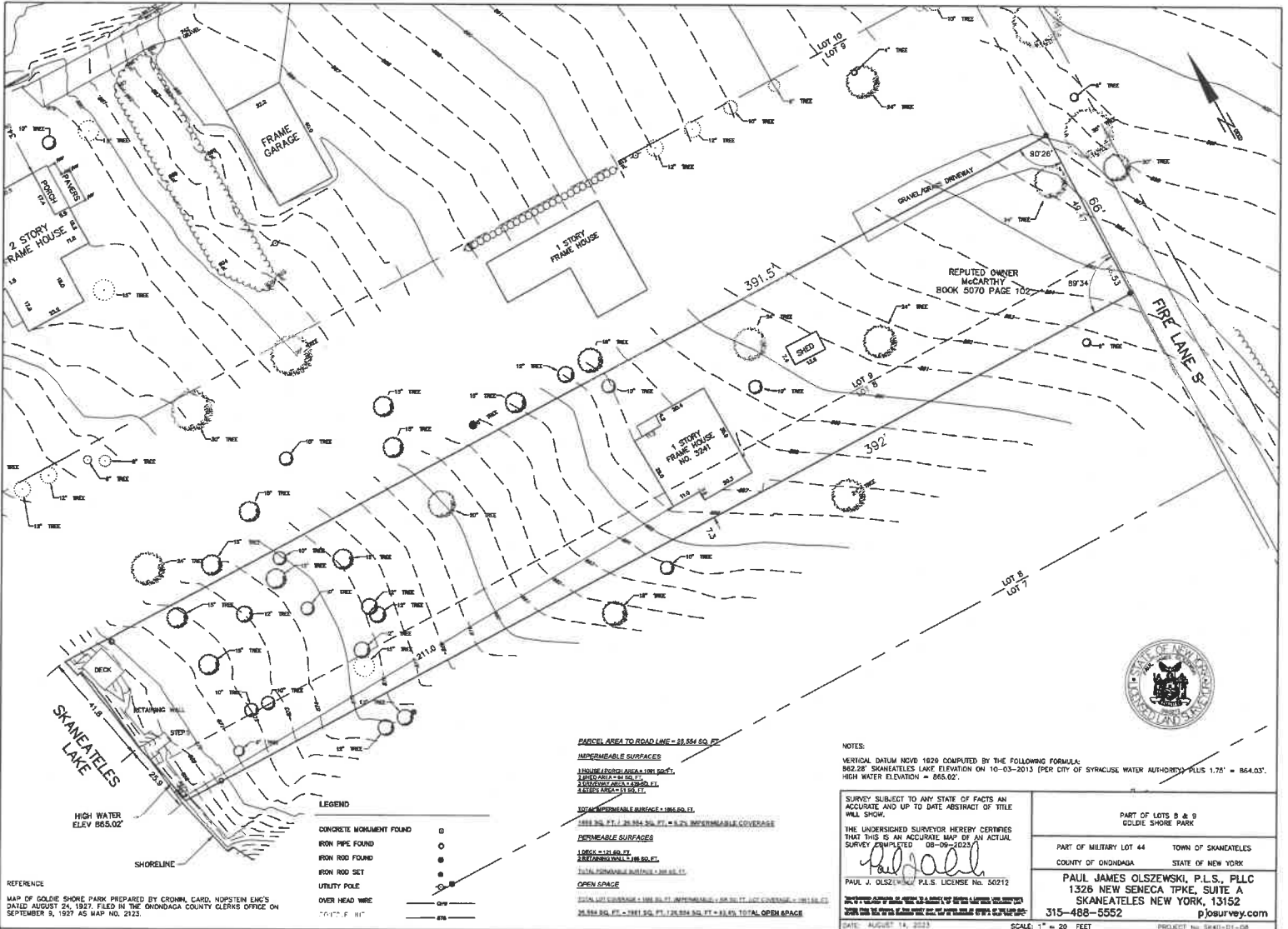
The proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district within 200' of Skaneateles Lake. The lake yard setback to the permeable patio is 200' off the mean high-water elevation. No disruption of the lake yard will occur for the construction of the new residence. Since the proposed construction will be held 190.7 feet from the lake, there will not be any adverse environmental impact or any degradation of the lake by granting the client the requested variance.

The lot was developed prior to McCarthy's owning the property; therefore, they were not able to have control over the dimensional constraints of the property lines. Unfortunately, McCarthy's cannot change the non-compliant lake yard frontage requirement. The proposed renovation of the single-family residence with detached garage will be more compliant with zoning regulations than what currently exists on the site today.

In addition to the renovations, the septic system is currently being investigated by Eric Buck to verify its condition and propose improvements if needed. The demand on the system will not be increased by the renovations.

Sincerely,

Lawrence E Klee LEED AP
Ramsgard Architectural Design



REFERENCE
 MAP OF GOLDIE SHORE PARK PREPARED BY CROWN, CARD, NOPSSTEIN ENG'S
 DATED AUGUST 24, 1927, FILED IN THE ONONDAGA COUNTY CLERK'S OFFICE ON
 SEPTEMBER 3, 1927 AS MAP NO. 2123.

LEGEND

CONCRETE MONUMENT FOUND	○
IRON PIPE FOUND	○
IRON ROD FOUND	●
IRON ROD SET	○
UTILITY POLE	○
OVER HEAD WIRE	—○—
70" x 6" x 11"	—○—

PARCEL AREA TO ROAD LINE = 23,554 SQ. FT.
 IMPERMEABLE SURFACES
 1 HOUSE / PORCH AREA = 1,981 SQ. FT.
 2 SHED AREA = 624 SQ. FT.
 2 DRIVEWAY AREA = 1,528 SQ. FT.
 2 DRIVE AREA = 11,563 SQ. FT.
 1 OPEN SPACE
 1,000 SQ. FT. x 20.00% IMPERMEABLE = 200.00 SQ. FT. TOTAL IMPERMEABLE COVERAGE
 23,554 SQ. FT. - 200.00 SQ. FT. = 23,354 SQ. FT.
 23,354 SQ. FT. - 7,881 SQ. FT. = 15,473 SQ. FT. TOTAL OPEN SPACE

NOTES:
 VERTICAL DATUM NVD 1920 COMPUTED BY THE FOLLOWING FORMULA:
 862.28' SKANEATELES LAKE ELEVATION ON 10-03-2013 (PER CITY OF SYRACUSE WATER AUTHORITY) PLUS 1.75' = 864.03'.
 HIGH WATER ELEVATION = 865.02'.

SURVEY SUBJECT TO ANY STATE OF FACTS AN ACCURATE AND UP TO DATE ABSTRACT OF TITLE WILL SHOW.
 THE UNDERSIGNED SURVEYOR HEREBY CERTIFIES THAT THIS IS AN ACCURATE MAP OR AN ACTUAL SURVEY COMPLETED 08-09-2023.

Paul J. Olszewski
 PAUL J. OLSZEWSKI, P.L.S. LICENSE No. 50212

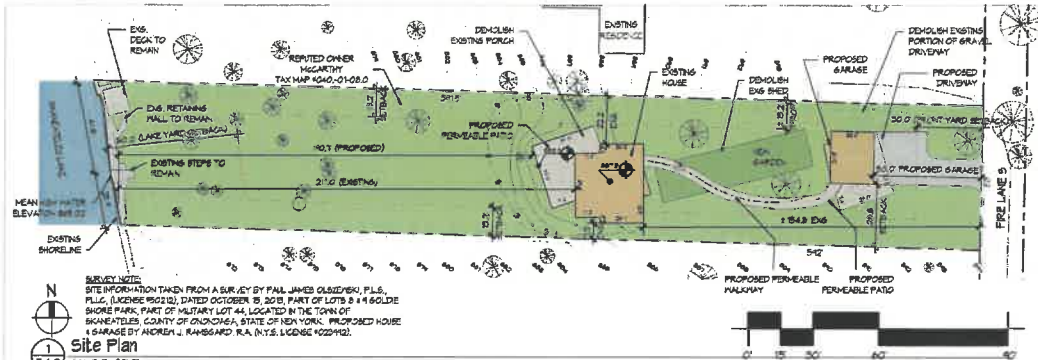
PAUL JAMES OLSZEWSKI, P.L.S., PLLC
 1326 NEW SENEGA TPKE, SUITE A
 SKANEATELES NEW YORK, 13152
 315-488-5552
 pjosurvey.com

PART OF LOTS 5 & 9
 GOLDIE SHORE PARK

PART OF MILITARY LOT 44 TOWN OF SKANEATELES
 COUNTY OF ONONDAGA STATE OF NEW YORK

DATE: AUGUST 14, 2023 SCALE: 1" = 20' FEET PROJECT No: SK411-01-08

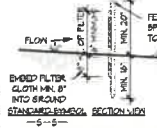




Survey Note:
 SITE INFORMATION TAKEN FROM A SURVEY BY PAUL JAMES OLSDORF, P.L.S., P.L.C. (LICENSE #50212), DATED OCTOBER 9, 2018, PART OF LOTS 8 & 14 GOLDIE SHORE PARK, PART OF MILITARY LOT 44, LOCATED IN THE TOWN OF SHARPLESS, COUNTY OF ONONDAGA, STATE OF NEW YORK. PROPOSED HOUSE & GARAGE BY DENNIS J. MCCARTHY, R.A. N.Y.S. LICENSE #0221418.

Site Plan
 SCALE: 1/8" = 1'-0"

- CONSTRUCTION SEQUENCE**
 THE CONSTRUCTION SEQUENCE WILL BE AS FOLLOWS:
1. STAKE OUT WORK AREA AND ACCESSORY STRUCTURES. ALLOW FOR WORKING AREA PER BUILDERS BUILDING INSPECTOR.
 2. INSTALL SILT FENCES IMMEDIATELY DOWNHILL OF WORKING AREAS AND SOIL STORAGE AREAS.
 3. UNDERTAKE ROUGH EXCAVATIONS AND INSTALL FOUNDATIONS.
 4. PROTECT INTERIOR OF STRUCTURES FROM WEATHER CONDITIONS AS REQUIRED DURING CONSTRUCTION.
 5. ROUGH GRADE WORKING AREAS.
 6. CONSTRUCT HOME AS REQUIRED.
 7. PROVIDE DOWNHILLS TO DISPERSE RAINWATER AS SHEET ACTION ON GRADE.
 8. CONTINUALLY REPAIR, RE-MULCH, AND RESEED WHEN WORKING AREAS ARE DISTURBED.
 9. INSTALL TOPSOIL, THE GRADE, AND STABILIZE. COMPLETE LANDSCAPING.
 10. CLEANUP SEDIMENT AT SILT SOGNS, STABILIZE AND REMOVE SILT FENCE.



Silt Fence Detail
 SCALE: 1/2" = 1'-0"

DENSITY CONTROL SCHEDULE				
RF - DISTRICT (EXISTING NON-CONFORMING LOT)				
	REQD./ALLOWED	EXISTING	PROPOSED	DIFFERENCE
MINIMUM LOT AREA	20,000 SF	128,954.4 SF	128,954.4 SF	-
MINIMUM LOT WIDTH	50 FT	168.0 FT	168.0 FT	-
MINIMUM LAKE FRONTAGE	75 FT	107.7 FT	107.7 FT	-
MINIMUM FRONT YARD SETBACK	50 FT	194.8 FT	194.8 FT	-
MINIMUM SIDE YARD SETBACK	20% LOT WIDTH 103.2 FT	33.9 FT, 232.2 FT	33.9 FT, 232.2 FT	-
MINIMUM LAKE YARD SETBACK	50 FT	121.0 FT	121.0 FT	-
HANDBAM COMBINED BUILDING FOOTPRINT	6% LOT AREA 11921 SF	14.42%	15.92%	1.50%
HANDBAM COMBINED FLOOR SPACE	10% LOT AREA 1994 SF	14.2%	14.7%	0.5%
HANDBAM IMPERMEABLE SURFACE COVERAGE	10%	18.25%	18.25%	-
HANDBAM LOT COVERAGE	20%	17.97%	18.9%	0.93%

CONSTRUCTION NOTES FOR FABRICATING SILT FENCE

1. FILTER CLOTH TO BE FASTENED SECURELY TO FENCE POSTS BY WIRE TIE OR STAPLES.
2. FILTER CLOTH TO BE FASTENED TO FENCE POSTS BY WIRE TIE OR STAPLES.
3. MINIMUM BOTTOM OF FILTER CLOTH 10.0 IN. BELOW GROUND. THEY SHALL BE OVERLAPPED BY 6" IN HORIZONTAL DIRECTION.
4. HANDBAM SHALL BE PERFORMED AND A MINIMUM 10% IMPERMEABLE SURFACE DEVELOPMENT SHALL BE MAINTAINED.

EXISTING HOUSE COVERAGE:
 - EXISTING HOUSE: 11,044.4 SF
 - EXISTING PORCH: 2,544 SF
 - EXISTING DRIVEWAY: 1,463.3 SF
 - EXISTING STEPS: 151.5 SF
 - TOTAL: 15,103.2 SF (6.82%)

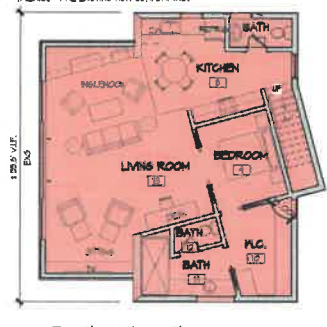
EXISTING PERMEABLE SURFACE COVERAGE:
 - EXISTING DECK: 1,207.7 SF
 - EXISTING RETAINING WALL: 1,054.9 SF
 - TOTAL: 2,262.6 SF (1.01%)

EXISTING OPEN SPACE:
 - TOTAL PERMEABLE SURFACE COVERAGE: 2,262.6 SF
 - TOTAL IMPERMEABLE COVERAGE: 15,103.2 SF
 - TOTAL: 17,365.8 SF (7.8%)

PROPOSED HOUSE COVERAGE:
 - PROPOSED HOUSE: 11,044.4 SF
 - PROPOSED PORCH: 2,544 SF
 - PROPOSED DRIVEWAY: 1,463.3 SF
 - PROPOSED STEPS: 151.5 SF
 - TOTAL: 15,103.2 SF (6.82%)

PROPOSED PERMEABLE SURFACE COVERAGE:
 - PROPOSED DECK: 1,207.7 SF
 - PROPOSED RETAINING WALL: 1,054.9 SF
 - PROPOSED PERMEABLE PATIO: 2,571.5 SF
 - PROPOSED PERMEABLE WALKWAY: 1,570.0 SF
 - TOTAL: 6,304.1 SF (2.82%)

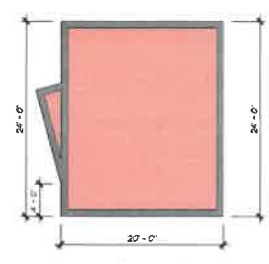
PROPOSED IMPERMEABLE SURFACE COVERAGE:
 - PROPOSED DRIVEWAY: 1,463.3 SF
 - PROPOSED GARAGE: 1,463.3 SF
 - PROPOSED HOUSE: 11,044.4 SF
 - EXISTING STEPS: 151.5 SF
 - TOTAL: 14,480.5 SF (6.56%)



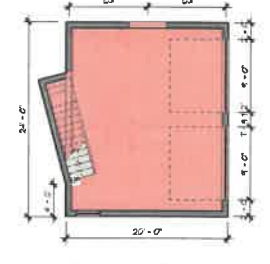
First Floor Plan House
 SCALE: 1/8" = 1'-0"



Second Floor Plan House
 SCALE: 1/8" = 1'-0"



Garage Basement Plan
 SCALE: 1/8" = 1'-0"



First Floor Plan Garage
 SCALE: 1/8" = 1'-0"

RAMSGARD
 architects • planners • designers
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 315.695.0463 | ramsgard.com

DENNIS & TRACY MCCARTHY
 REGISTERED ARCHITECTS
 344 E. LAKE RD., SHARPLESS, NY 13152

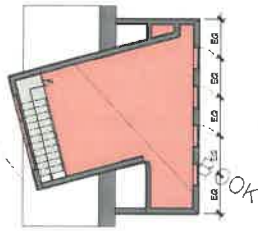
REVISIONS

#	DESCRIPTION	DATE

Zoning Plan
 PROJ#: 1913
 DRAWING#: 309
 SCALE: As Indicated
 DATE: 09/21/23

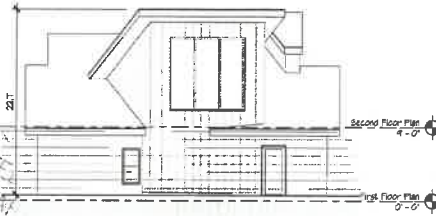
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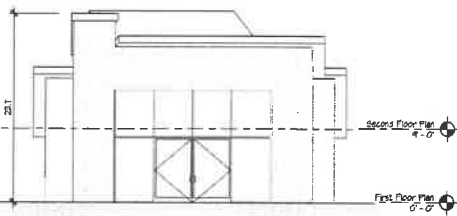


1 Second Floor Garage
SCALE: 1/8" = 1'-0"

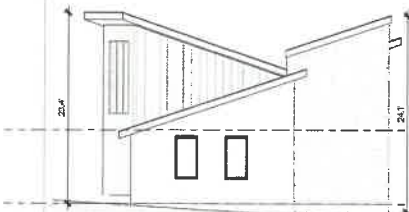
RÉPUTÉ
McCarthy
BOOK 5070



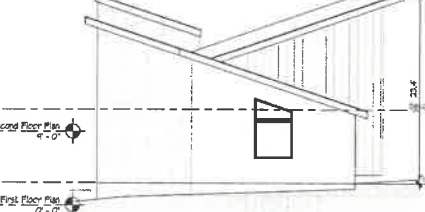
5 East Exterior Elevation
SCALE: 1/8" = 1'-0"



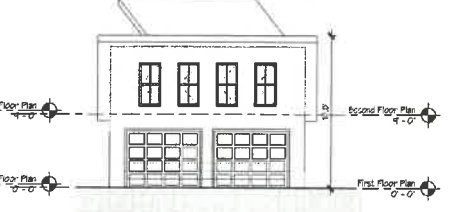
6 West Exterior Elevation
SCALE: 1/8" = 1'-0"



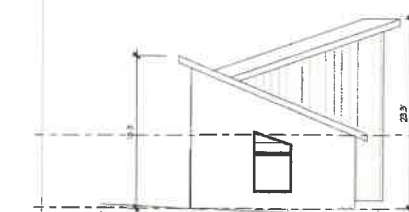
1 North Exterior Elevation
SCALE: 1/8" = 1'-0"



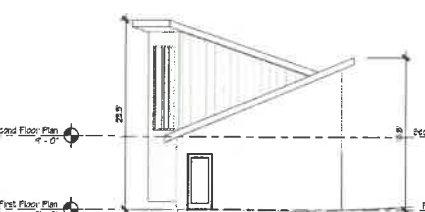
2 South Exterior Elevation
SCALE: 1/8" = 1'-0"



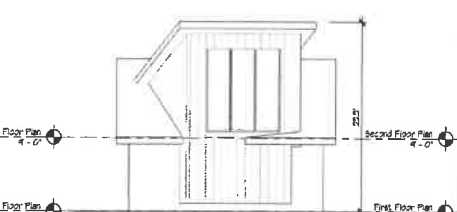
4 Garage East Exterior Elevation
SCALE: 1/8" = 1'-0"



3 Garage North Exterior Elevation
SCALE: 1/8" = 1'-0"



4 Garage South Exterior Elevation
SCALE: 1/8" = 1'-0"



2 Garage West Exterior Elevation
SCALE: 1/8" = 1'-0"

RAMSGARD

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DENNIS & TRACY MCCARTHY
PROPOSED RENOVATIONS
344 E. LAKE RD., SKANEATELES, NY 13152

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
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REVISIONS		
#	DESCRIPTION	DATE

Exterior Elevations & Garage Floor Plans
 PROJ#: 1353
 DRAWN BY: Author
 SCALE: 1/8" = 1'-0"
 DATE: 7/2/23
Z-1.1