

Tax Map ID#039.-01-22.0

NOTICE OF HEARING

PLEASE TAKE NOTICE that pursuant to Section 148-4, 148-5 148-6 148-7 148-8 and 148-10 of the Zoning Law of the Town of Skaneateles 2020 and Section 274-a and 274-b Town Law of the State of New York, the Planning Board of the Town of Skaneateles will hold a Public Hearing on the application of Joseph McCaffrey for a Special Permit/Site Plan Review.

The application is for the redevelopment of the property including rebuilding the lakefront dock and deck, adding a gazebo and shed, and modifying the shoreline steps.

The property in question is located at 2957 East Lake Road in the Town of Skaneateles, New York and bears Tax Map ID#039.-01-22.0

A copy of the application is available for inspection at the Town Hall, 24 Jordan Street, Skaneateles, New York.

SAID HEARING will be held on *Tuesday January 21, 2025 at 7:00 p.m.* at the Town Offices, 24 Jordan Street, Skaneateles, New York or electronically as required by local and/or Executive Orders applicable to COVID 19. At that time all people will be heard or have an opportunity to provide written comment on this application.

Donald Kasper, Chair
Planning Board -Town of Skaneateles
Dated: January 8, 2025

EGGLESTON & KRENZER ARCHITECTS, PC

The Trolley Bldg

1391 East Genesee Street

Skaneateles, New York 13152

December 5, 2024

Town of Skaneateles Planning Board

24 Jordan Street

Skaneateles, NY 13152

Re: Joseph McCaffrey

Site Plan Review and Special Permit

2957 East Lake Road

Tax ID# 039.-01-22

NARRATIVE

The McCaffrey property has 64,268 SF lot size, 18.13 FT road frontage and 248 LF of shoreline in the RF District and Skaneateles Lake watershed. A single-family dwelling, detached accessory buildings, decks, walks, steps and, shoreline structures are on the lot. The lot has a steep slope at the lake with two sets of stairs leading down to existing decks/docks. The south deck/dock is in need of repair. The ISC is 11.9% and TSC is 14.6%. There are 603 SF of on-shore lakefront structures and 437 SF of on-shore decks and steps. The shoreline between the two dock areas has been eroding.

This application is to replace the south shoreline stairs, retaining wall, deck and dock. The stairs will be set into the natural grade and be 4 ft wide. The existing 85 ft long dock is 4 to 6 ft wide and will now be 8 feet wide. The deck is 4 to 8 ft deep and will push back another 4 ft for a 13 ft length. A 12' x 16' gazebo 12 ft high and 8' x 10' shed 8 ft high will be added to the shoreline structures. The gazebo will provide afternoon shade on part of the deck. Double stacked, limestone boulders will be placed at the bottom of the bank to help provide erosion control.

To reduce the ISC, the gravel driveway at the house will be reduced to allow three parking spaces and a turn-around. The ISC will reduce to 11.1%, TSC to 13.6% and the on-shore structures will be 798 SF and off-shore docks 737 SF and 8 ft wide. The long dock/deck area is used to store small watercraft such as kayaks and wind sail boards both summer and winter as well as the boat hoist and swim raft in the winter.

Much of the work will be performed from a barge with minimal disturbance placing the limestone boulders and rebuilding the dock/deck areas. Silt fence or sediment logs will be placed below the work area or a floating silt curtain as necessary to control erosion. Site Plan Review is required for the work at the lake front.

A Special Permit is required for redevelopment in that the reduced ISC will be 11.1%. A 71,230 SF lot is required to make the required 10% ISC which is 6,962 SF greater than the current lot. At \$1.09/SF, a payment of \$7,588.58 will be made to the Town's LDRA Fund.

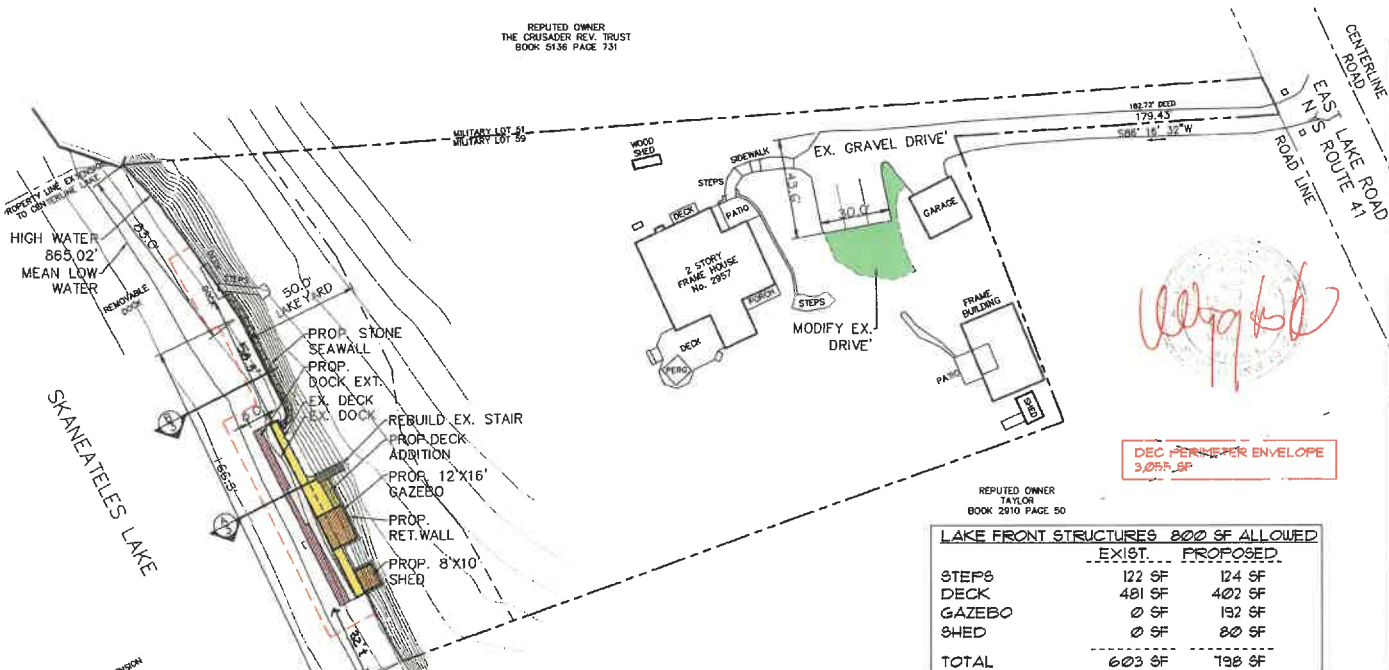
(315) 685-8144

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CONSTRUCTION SEQUENCE

- 1) Place silt fence/floating silt curtain below work area and maintain during construction.
- 2) Mark and protect septic area from construction traffic and staging.
- 3) Remove existing deck/dock structure.
- 4) Drive 8" steel piles for new dock/deck structure.
- 5) Excavate for new retaining walls, build retaining walls and set limestone boulders at base of steep bank with filter fabric stone behind.
- 6) Construct deck, dock, gazebo, shed and steps. Remove floating silt curtain when water has cleared.
- 7) Remove excess gravel driveway.
- 8) Spread topsoil over disturbed areas, plant ground cover or seed and mulch. Water during dry periods.
- 9) After site is stabilized, remove silt fence.

REPUTED OWNER
THE CRUSAIDER REV. TRUST
BOOK 5136 PAGE 731



SHORELINE REPAIR
JOE McCAFFREY
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TN. OF SKANEATELES, NY

architect
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PROJ: 24116

DATE:
6 DEC 2024
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DEC PERMEABLE ENVELOPE
3,055 SF

REPUTED OWNER
TAYLOR
BOOK 2910 PAGE 50

LAKE FRONT STRUCTURES 800 SF ALLOWED		
	EXIST.	PROPOSED
STEPS	122 SF	124 SF
DECK	481 SF	402 SF
GAZEBO	0 SF	152 SF
SHED	0 SF	80 SF
TOTAL	603 SF	758 SF

OFF-SHORE STRUCTURES 800 SF ALLOWED		
	EXIST.	PROPOSED
DOCK	431 SF	731 SF
TOTAL	431 SF	731 SF

LOT AREA	64268 SF
SHORELINE	7493 LF

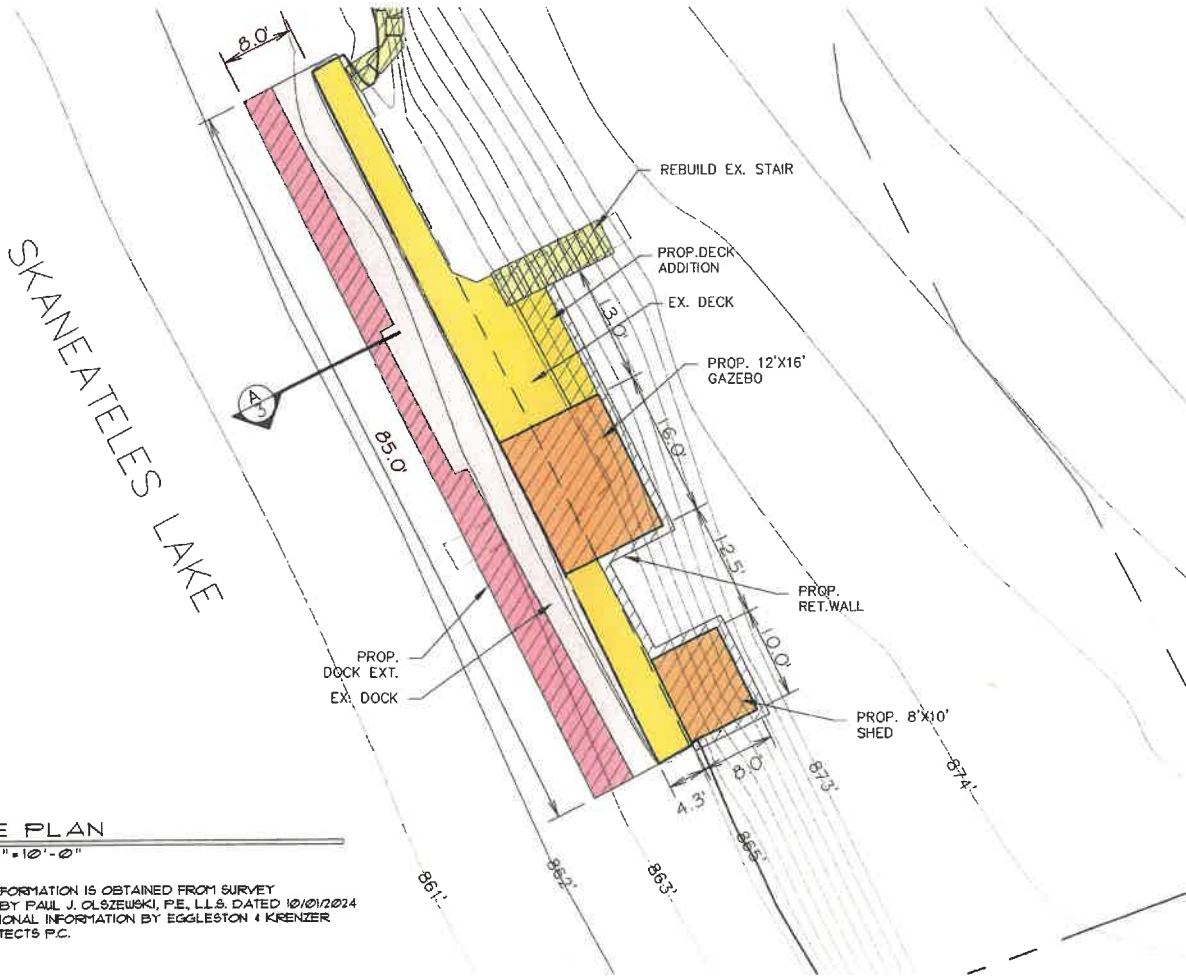
IMPERMEABLE COVERAGE		
	EXIST.	PROPOSED
HOUSE/PORCH	2288 SF	2288 SF
GRAVEL DRIVE	3642 SF	2829 SF
GARAGE	411 SF	411 SF
FRAME BLDG	882 SF	882 SF
SHEDS	146 SF	226 SF
PERGOLA/GAZEBO	87 SF	279 SF
STEPS	186 SF	186 SF
CONC. AREA	22 SF	22 SF
GENERATOR (16SF EXEMPT)	0	0 SF
TOTAL	7664 SF	7123 SF
% IMPERMEABLE	11.9 %	11.1 %

TOTAL COVERAGE		
	EXIST.	PROPOSED
DECKS	1021 SF	884 SF
RET. WALL	62 SF	89 SF
SHED RAMP	40 SF	40 SF
STEPS	154 SF	157 SF
PATIOS	266 SF	266 SF
SIDEWALKS	172 SF	172 SF
PERMEABLE	1,715 SF	1,608 SF
IMPERMEABLE	1,664 SF	1,123 SF
TOTAL	3,379 SF	2,731 SF
% TSC	14.6 %	13.6 %



SITE PLAN
SC.: 1" = 40'-0"

SITE INFORMATION IS OBTAINED FROM SURVEY
DONE BY PAUL J. OLSZEWSKI, P.E., L.L.S. DATED 10/01/2024
ADDITIONAL INFORMATION BY EGGLESTON & KRENZER
ARCHITECTS P.C.



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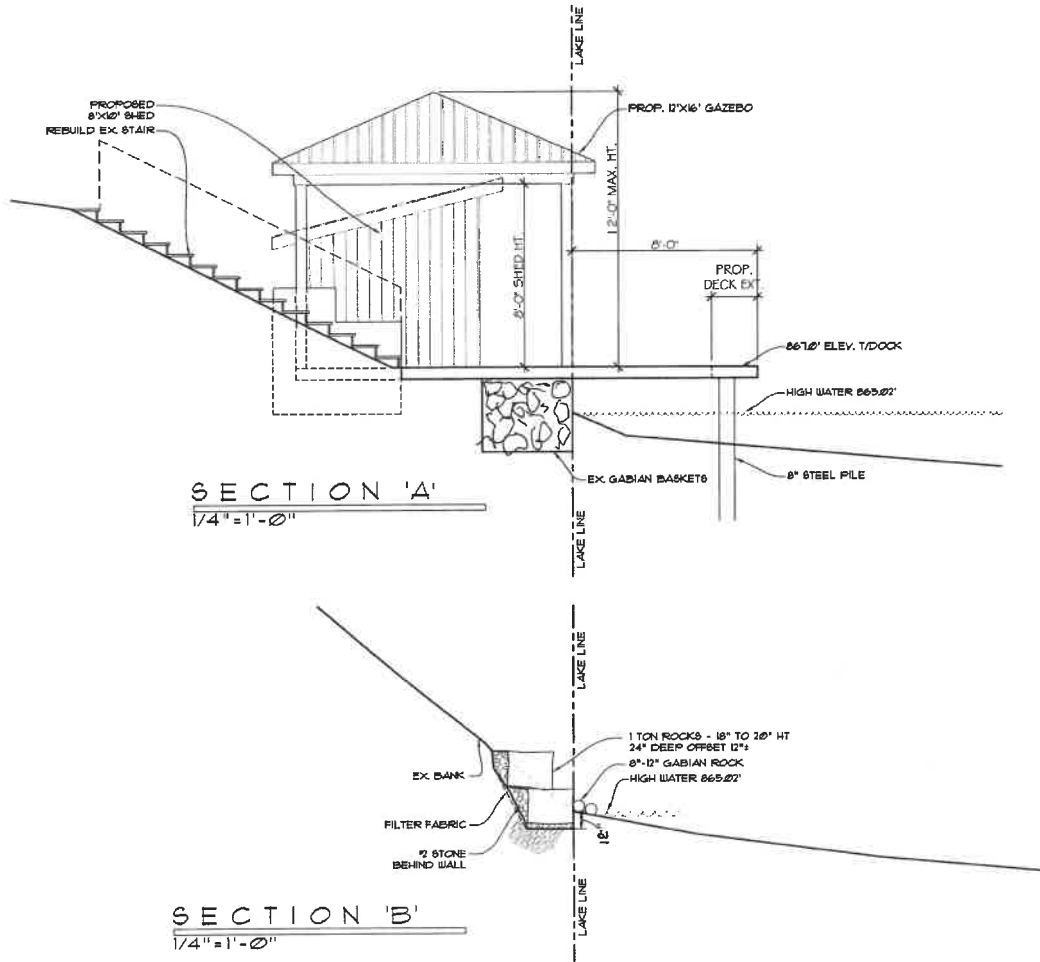
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SITE PLAN
 SC.: 1" = 10'-0"

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 ARCHITECTS P.C.

NORTH



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