

SPACE Architectural Studio, P.C.

3 Fennell Street, Suite #2, Skaneateles, N.Y. 13152
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Project Narrative

David and Judy Fennessy

Project Location: 883 Franklin Road, Skaneateles, N.Y. 13152

Tax Map No.: 047.-04-02.2

Town Zoning District: Rural Residential

SPACE Architectural Studio project #: 2024-55

Date: 3 March 2025

David and Judy Fennessy's existing residence is a modest single-family home located on an existing undersized lot in the Town. They would like a larger master suite that does not impact any existing living area. We are proposing a single-story master suite addition adjacent to the garage. This addition is not substantial in size and provides the Fennessys with extra space for the master suite while retaining the existing living area. In addition to the master suite, we are also proposing a small patio to the rear of the house and adding a screen structure onto the existing rear deck with no change to the deck footprint.

Due to the existing conditions of the property, there are several P.E.N.C. variances existing on the site that are affected.

The P.E.N.C. variances requested by the Fennessys in this proposal include:

- Maximum Lot Coverage % where 20% is allowed, a variance of +/- 6.42% (+/- 1.01% P.E.N.C.) is requested.
- Maximum Impermeable Surface Coverage % where 15% is allowed, a variance of +/- 7.78% (+/- 3.75% P.E.N.C.) is requested.
- Maximum Building Footprint % where 6% is allowed, a variance of +/- 7.38% (+/- 3.37% P.E.N.C.) is requested.
- Maximum Floor Space % where 10% is allowed, a variance of +/- 7.84% (+/- 3.90% P.E.N.C.) is requested.
- Minimum Watercourse Setback where 100 ft is required, a variance of +/- 62.3 ft (P.E.N.C.) is requested.

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In response to whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the variance – this master suite addition is proposed to be located in the rear of the property, adjacent to the garage and match all existing exterior finishes to the existing residence. The addition will be minimally visible from the street and will provide additional privacy to the northerly neighbor's property. This addition will not produce an undesirable change to the neighborhood because it will not impede any adjacent property and will blend in with the existing residence.

To whether this benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than a variance – Due to the several P.E.N.C. variances existing on the property, as well as the existing undersized lot size, this benefit cannot be achieved by any other method than an addition, which would require an increase to the existing variances.

To whether the requested area variance is substantial – These variance requests are substantial only due to the existing variances on the property. The proposed variances requested are not a substantial change from the existing variances.

To whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district – These proposed changes will not have an adverse effect on the neighborhood as it is not a substantial addition and renovation. There is no proposed grading required for the addition and will not have any impact on the neighboring properties.

To whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals but shall not necessarily preclude the granting of the area variance – this difficulty was not self-created due to the several existing area variances in place on this existing undersized lot.

Thank you for considering our proposal.

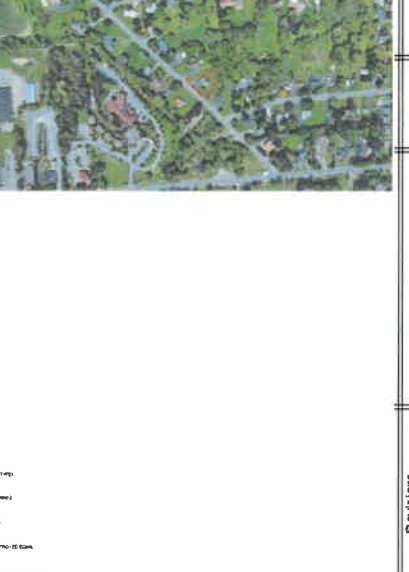
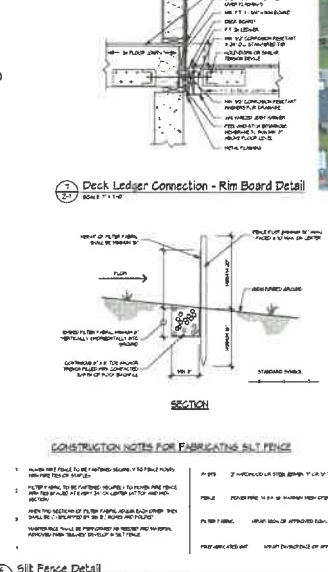
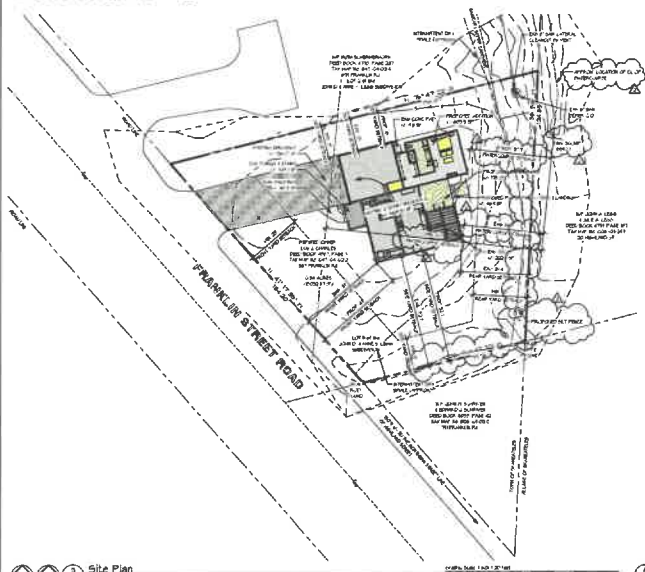
DENSITY CONTROL SCHEDULE						
RURAL RESIDENTIAL DISTRICT						
	REQD./ALLOWED	REQD. ALLOWED PER 1/4 AC. RESIDENTIAL LOTS	EXISTING	PROPOSED	DIFFERENCE	REQD. VARIANCE
MINIMUM LOT SIZE	1/4 AC. (10,890 SF)	1/4 AC. (10,890 SF)	1/4 AC. (10,890 SF)	1/4 AC. (10,890 SF)	-	-
MINIMUM FRONT YARD SETBACK	15 FT.	15 FT.	15 FT.	15 FT.	-	-
MINIMUM SIDE YARD SETBACK - ONE	5 FT.	5 FT.	5 FT.	5 FT.	-	-
MINIMUM SIDE YARD SETBACK - OTHER	5 FT.	5 FT.	5 FT.	5 FT.	-	-
MINIMUM REAR YARD SETBACK - TOTAL	10 FT.	10 FT.	10 FT.	10 FT.	-	-
MINIMUM REAR YARD SETBACK	5 FT.	5 FT.	5 FT.	5 FT.	-	-
MINIMUM LOT COVERAGE	20%	20%	20.00% (21,780 SF)	20.00% (21,780 SF)	0.00% (0 SF)	0.00% (0 SF)
MINIMUM IMPERMEABLE SURFACE COVERAGE	10%	10%	10.78% (11,540 SF)	10.78% (11,540 SF)	0.00% (0 SF)	0.00% (0 SF)
MINIMUM BLENDED FOOTPRINT	10%	10%	10.78% (11,540 SF)	10.78% (11,540 SF)	0.00% (0 SF)	0.00% (0 SF)
MINIMUM FLOOR SPACE	100 SF	100 SF	100 SF	100 SF	0 SF	0 SF

LOT COVERAGE CALCULATIONS	
MINIMUM LOT COVERAGE	20.00% (21,780 SF)
EXISTING LOT COVERAGE	20.00% (21,780 SF)
PROPOSED LOT COVERAGE	20.00% (21,780 SF)
DIFFERENCE	0.00% (0 SF)

IMPERMEABLE SURFACE CALCS	
MINIMUM IMPERMEABLE SURFACE COVERAGE	10.78% (11,540 SF)
EXISTING IMPERMEABLE SURFACE COVERAGE	10.78% (11,540 SF)
PROPOSED IMPERMEABLE SURFACE COVERAGE	10.78% (11,540 SF)
DIFFERENCE	0.00% (0 SF)

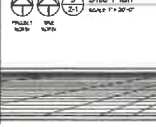
FOOTPRINT CALCULATIONS	
MINIMUM FOOTPRINT	10.78% (11,540 SF)
EXISTING FOOTPRINT	10.78% (11,540 SF)
PROPOSED FOOTPRINT	10.78% (11,540 SF)
DIFFERENCE	0.00% (0 SF)

FLOOR SPACE CALCULATIONS	
MINIMUM FLOOR SPACE	100 SF
EXISTING FLOOR SPACE	100 SF
PROPOSED FLOOR SPACE	100 SF
DIFFERENCE	0 SF



CONSTRUCTION NOTES FOR FABRICATED SLT FENCE

- Posts and rails shall be galvanized steel with a minimum thickness of 1/8 inch.
- Posts shall be set in concrete footings. Footings shall be 12 inches wide by 12 inches deep.
- Posts shall be spaced 6 feet on center.
- Top rail shall be 4 feet high from the ground.
- Bottom rail shall be 4 feet high from the ground.
- End caps shall be used on all posts.



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Master Suite Addition
 for
David & Judy Fennessy
 603 Franklin Street
 Skaneateles, NY 13152

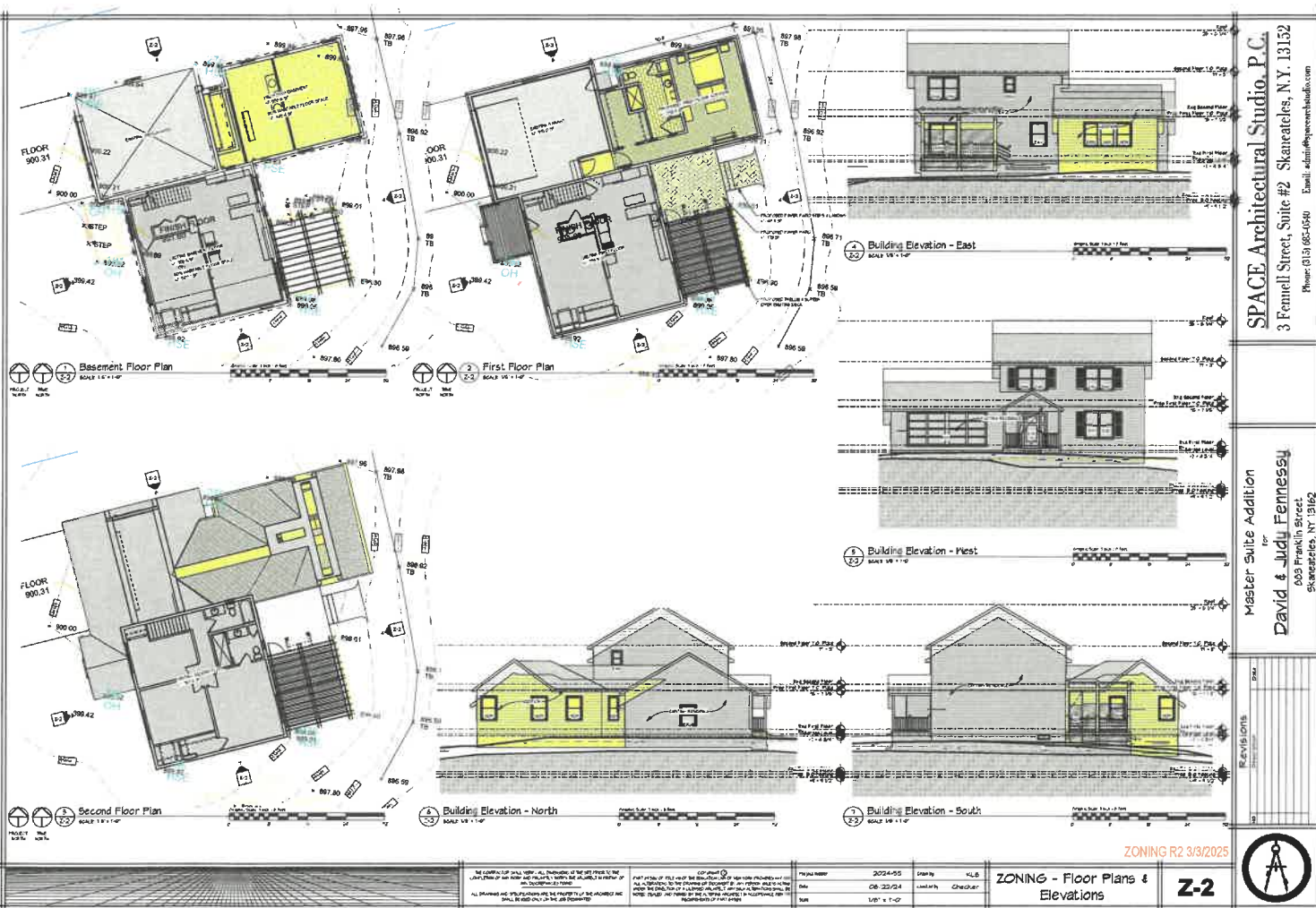
NO.	DATE	DESCRIPTION
1	11/15/24	ISSUED FOR PERMIT
2	11/15/24	REVISIONS

ZONING R2 3/3/2025

ZONING - Site Plan

Z-1

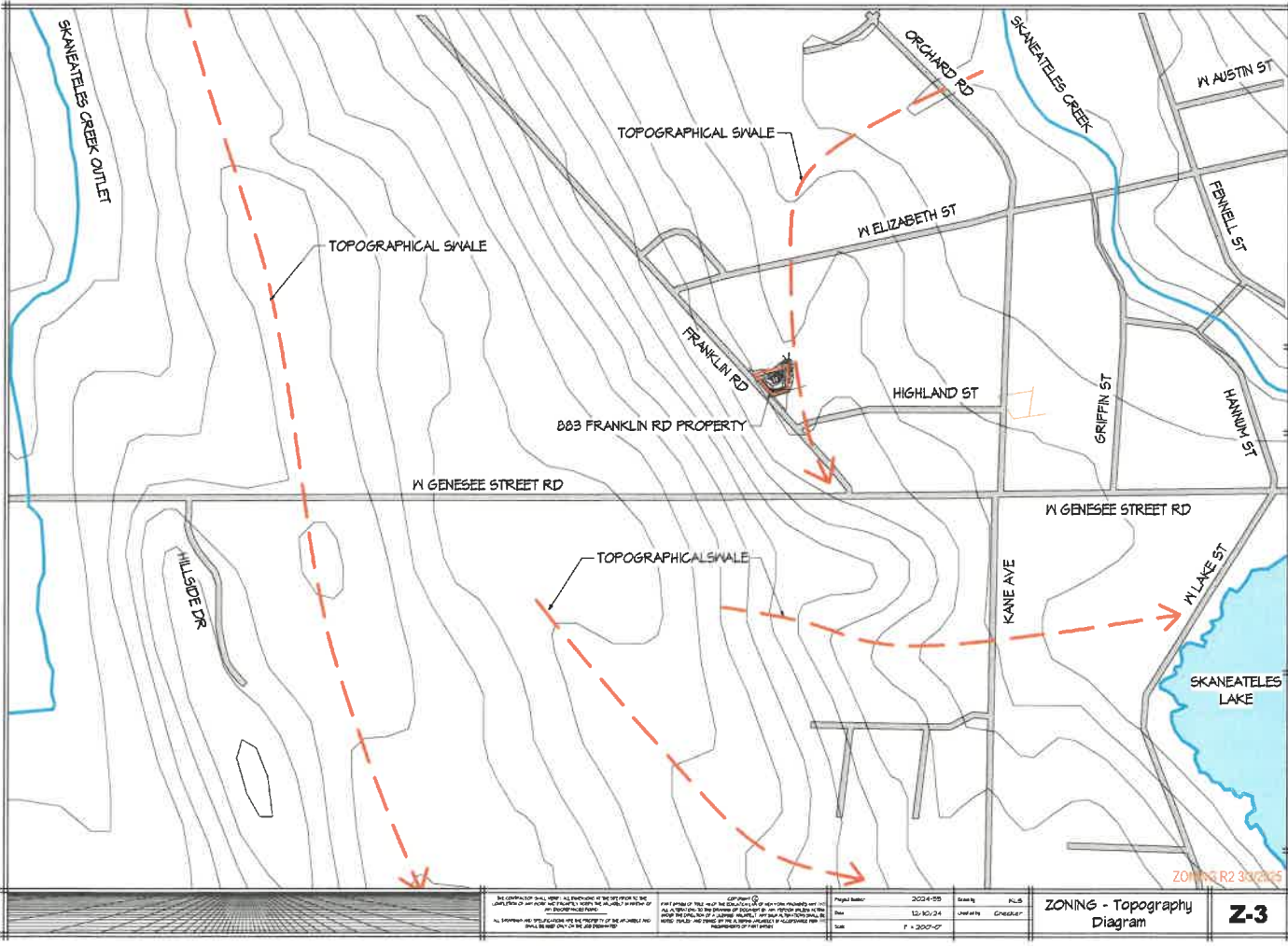




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Master Suite Addition
 for
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 Skaneateles, NY 13152





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REV	DATE	DESCRIPTION



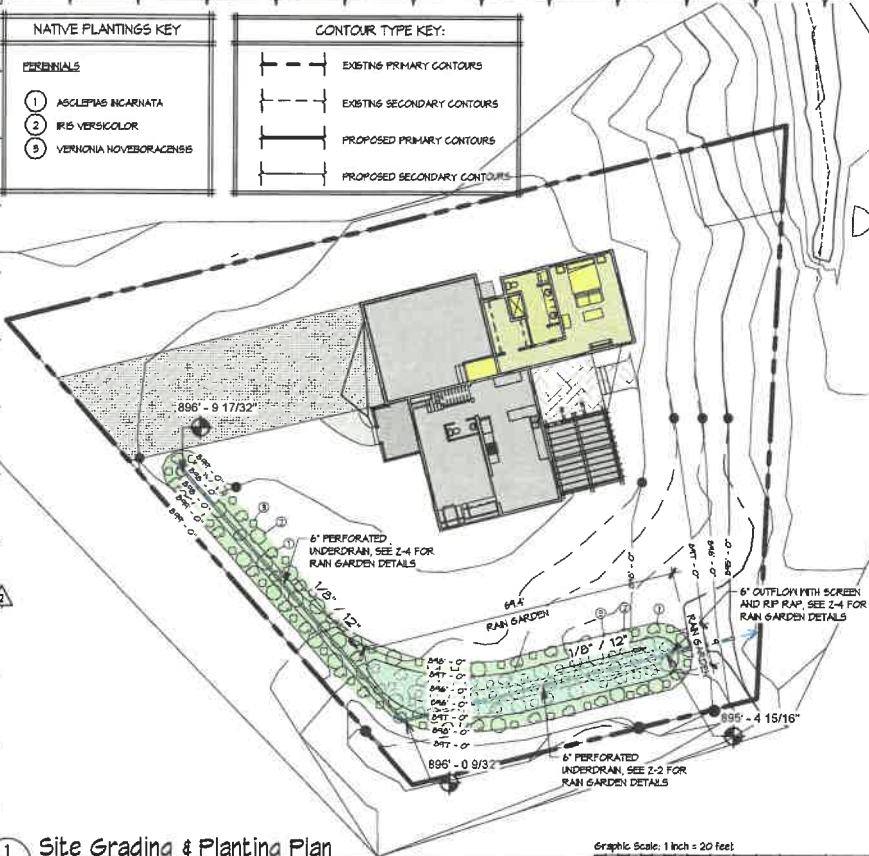
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ZONING - Topography Diagram
Z-3

ZONING R2 33(2)25

NATIVE PLANTINGS KEY	
PERENNIALS	
①	ASCLEPIAS INCARNATA
②	IRIS VERSICOLOR
③	VERNONIA HOVEBORACENSIS

CONTOUR TYPE KEY:	
	EXISTING PRIMARY CONTOURS
	EXISTING SECONDARY CONTOURS
	PROPOSED PRIMARY CONTOURS
	PROPOSED SECONDARY CONTOURS



1 Site Grading & Planting Plan
Z-5 SCALE: 1" = 20'-0"



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Site Grading
& Planting
Plan

Z-5

