

## SPACE Architectural Studio, P.C.

3 Fennell Street, Suite #2, Skaneateles, N.Y. 13152  
p: (315) 685-0540 | e: bill@spacearchstudio.com | www.spacearchstudio.com

# Project Narrative

David and Judy Fennessy

Project Location: 883 Franklin Road, Skaneateles, N.Y. 13152

Tax Map No.: 047.-04-02.2

Town Zoning District: Rural Residential

SPACE Architectural Studio project #: 2024-55

Date: 17 October 2024

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David and Judy Fennessy's existing residence is a modest single-family home located on an existing undersized lot in the Town. They would like a larger master suite that does not impact any existing living area. We are proposing a single-story master suite addition adjacent to the garage. This addition is not substantial in size and provides the Fennessys with extra space for the master suite while retaining the existing living area. In addition to the master suite, we are also proposing a small patio to the rear of the house and adding a screen structure onto the existing rear deck with no change to the deck footprint.

Due to the existing conditions of the property, there are several P.E.N.C. variances existing on the site that are affected.

The P.E.N.C. variances requested by the Fennessys in this proposal include:

- Maximum Lot Coverage % where 20% is allowed, a variance of +/- 6.42% (+/- 1.01% P.E.N.C.) is requested.
- Maximum Impermeable Surface Coverage % where 15% is allowed, a variance of +/- 7.78% (+/- 3.75% P.E.N.C.) is requested.
- Maximum Building Footprint % where 6% is allowed, a variance of +/- 7.38% (+/- 3.37% P.E.N.C.) is requested.
- Maximum Floor Space % where 10% is allowed, a variance of +/- 7.84% (+/- 3.90% P.E.N.C.) is requested.

In response to whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the variance – this master suite addition is proposed to be located in the rear of the property, adjacent to the garage and match all existing exterior finishes to the existing residence. The addition will be minimally visible from the street and will provide additional privacy to the northerly neighbor's property. This addition will not produce an undesirable change to the neighborhood because it will not impede any adjacent property and will blend in with the existing residence.

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To whether this benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than a variance – Due to the several P.E.N.C. variances existing on the property, as well as the existing undersized lot size, this benefit cannot be achieved by any other method than an addition, which would require an increase to the existing variances.

To whether the requested area variance is substantial – These variance requests are substantial only due to the existing variances on the property. The proposed variances requested are not a substantial change from the existing variances.

To whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district – These proposed changes will not have an adverse effect on the neighborhood as it is not a substantial addition and renovation. There is no proposed grading required for the addition and will not have any impact on the neighboring properties.

To whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals but shall not necessarily preclude the granting of the area variance – this difficulty was not self-created due to the several existing area variances in place on this existing undersized lot.

Thank you for considering our proposal.

DENSITY CONTROL SCHEDULE

RURAL RESIDENTIAL DISTRICT

	REQD./ALLOWED	REQD. ALLOWED PER 1/4 ACRA	EXISTING	PROPOSED	DIFFERENCE	REQD. VARIANCE
MINIMUM LOT SIZE	1/4 ACRA / 10,000 SF	1/4 ACRA / 10,000 SF	1/4 ACRA / 10,000 SF	1/4 ACRA / 10,000 SF	0	0
MINIMUM LOT WIDTH	40 FT	40 FT	40 FT	40 FT	0	0
MINIMUM FRONT YARD SETBACK	10 FT	10 FT	10 FT	10 FT	0	0
MINIMUM SIDE YARD SETBACK ONE	5 FT	5 FT	5 FT	5 FT	0	0
MINIMUM SIDE YARD SETBACK TWO	5 FT	5 FT	5 FT	5 FT	0	0
MINIMUM REAR YARD SETBACK	10 FT	10 FT	10 FT	10 FT	0	0
MINIMUM LOT COVERAGE	30%	30%	31.04% (P. 2 N.C. 2)	31.40% (P. 2 N.C. 2)	+0.36% (P. 2 N.C. 2)	+0.40% (P. 2 N.C. 2)
MINIMUM PERMEABLE SURFACE COVERAGE	10%	10%	10.38% (P. 2 N.C. 2)	10.40% (P. 2 N.C. 2)	+0.02% (P. 2 N.C. 2)	+0.02% (P. 2 N.C. 2)
MINIMUM BUILDING FOOTPRINT	10%	10%	10.38% (P. 2 N.C. 2)	10.40% (P. 2 N.C. 2)	+0.02% (P. 2 N.C. 2)	+0.02% (P. 2 N.C. 2)
MINIMUM FLOOR SPACE	10%	10%	10.38% (P. 2 N.C. 2)	10.40% (P. 2 N.C. 2)	+0.02% (P. 2 N.C. 2)	+0.02% (P. 2 N.C. 2)
MINIMUM BUILDING HEIGHT	20 FT	20 FT	20 FT	20 FT	0	0

LOT COVERAGE CALCULATIONS

USE/AREA	AREA (SQ. FT.)
EXISTING LOT COVERAGE	31.04%
EXISTING BUILDING	31.04%
EXISTING DRIVEWAY	31.04%
EXISTING PATIO	31.04%
EXISTING PORCH	31.04%
EXISTING DECK	31.04%
EXISTING FENCE	31.04%
EXISTING UTILITY	31.04%
EXISTING OTHER	31.04%
PROPOSED LOT COVERAGE	31.40%
PROPOSED BUILDING	31.40%
PROPOSED DRIVEWAY	31.40%
PROPOSED PATIO	31.40%
PROPOSED PORCH	31.40%
PROPOSED DECK	31.40%
PROPOSED FENCE	31.40%
PROPOSED UTILITY	31.40%
PROPOSED OTHER	31.40%

PERMEABLE SURFACE CALCS

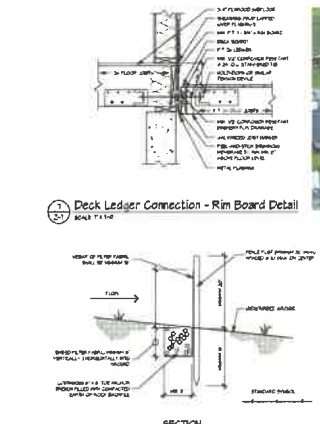
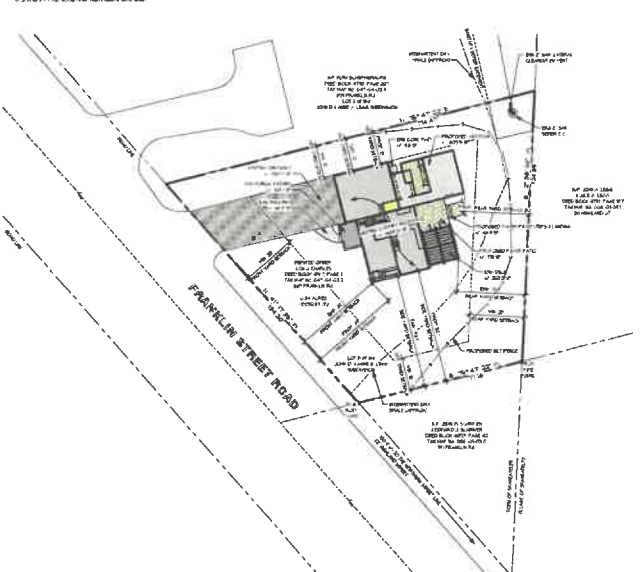
PERMEABLE SURFACE	AREA (SQ. FT.)
EXISTING PERMEABLE SURFACE	31.04%
EXISTING DRIVEWAY	31.04%
EXISTING PATIO	31.04%
EXISTING PORCH	31.04%
EXISTING DECK	31.04%
EXISTING FENCE	31.04%
EXISTING UTILITY	31.04%
EXISTING OTHER	31.04%
PROPOSED PERMEABLE SURFACE	31.40%
PROPOSED DRIVEWAY	31.40%
PROPOSED PATIO	31.40%
PROPOSED PORCH	31.40%
PROPOSED DECK	31.40%
PROPOSED FENCE	31.40%
PROPOSED UTILITY	31.40%
PROPOSED OTHER	31.40%

FOOTPRINT CALCULATIONS

FOOTPRINT	AREA (SQ. FT.)
EXISTING FOOTPRINT	31.04%
EXISTING DRIVEWAY	31.04%
EXISTING PATIO	31.04%
EXISTING PORCH	31.04%
EXISTING DECK	31.04%
EXISTING FENCE	31.04%
EXISTING UTILITY	31.04%
EXISTING OTHER	31.04%
PROPOSED FOOTPRINT	31.40%
PROPOSED DRIVEWAY	31.40%
PROPOSED PATIO	31.40%
PROPOSED PORCH	31.40%
PROPOSED DECK	31.40%
PROPOSED FENCE	31.40%
PROPOSED UTILITY	31.40%
PROPOSED OTHER	31.40%

FLOOR SPACE CALCULATIONS

FLOOR SPACE	AREA (SQ. FT.)
EXISTING FLOOR SPACE	31.04%
EXISTING DRIVEWAY	31.04%
EXISTING PATIO	31.04%
EXISTING PORCH	31.04%
EXISTING DECK	31.04%
EXISTING FENCE	31.04%
EXISTING UTILITY	31.04%
EXISTING OTHER	31.04%
PROPOSED FLOOR SPACE	31.40%
PROPOSED DRIVEWAY	31.40%
PROPOSED PATIO	31.40%
PROPOSED PORCH	31.40%
PROPOSED DECK	31.40%
PROPOSED FENCE	31.40%
PROPOSED UTILITY	31.40%
PROPOSED OTHER	31.40%



CONSTRUCTION NOTES FOR FABRICATING SILT FENCE

1. Silt fence shall be installed in accordance with the manufacturer's instructions.
2. Silt fence shall be installed in a trench 12 inches deep and 12 inches wide.
3. Silt fence shall be installed in a trench 12 inches deep and 12 inches wide.
4. Silt fence shall be installed in a trench 12 inches deep and 12 inches wide.



PROGRESS PRINT 10/7/2024

Project Number	2024-90	Drawn by	KLS
Date	10/10/24	Checked by	CONRAD
Scale	AS SHOWN	Project	ZONING - Site Plan

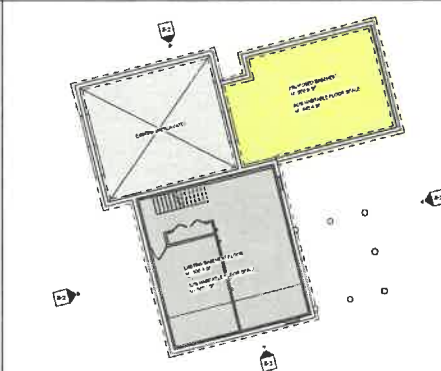
Z-1



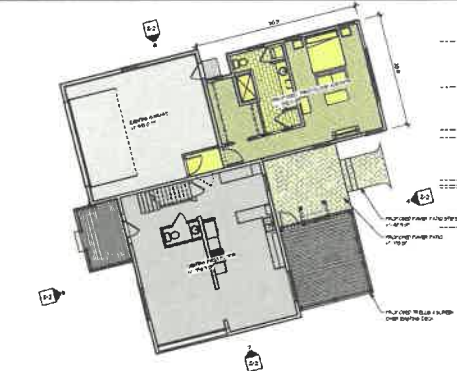
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Master Suite Addition  
for  
David & Judy Fennessy  
663 Franklin Street  
Skaneateles, NY 13152

Revisions



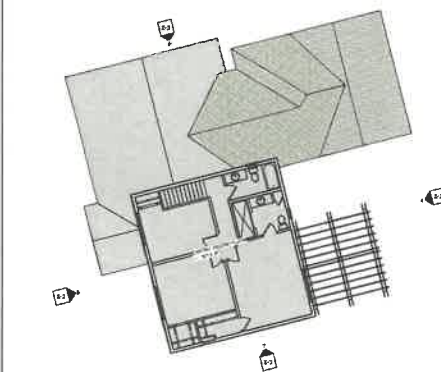
**Basement Floor Plan**  
 SCALE: 1/8" = 1'-0"



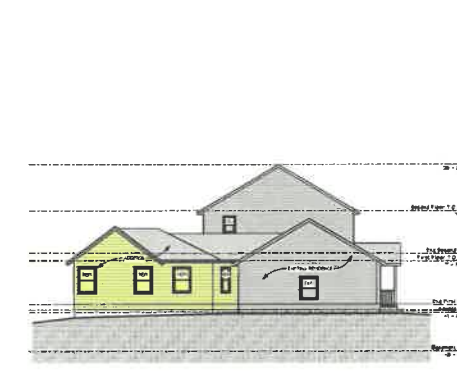
**First Floor Plan**  
 SCALE: 1/8" = 1'-0"



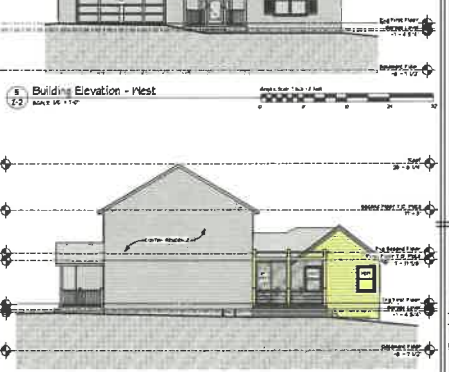
**Building Elevation - East**  
 SCALE: 1/8" = 1'-0"



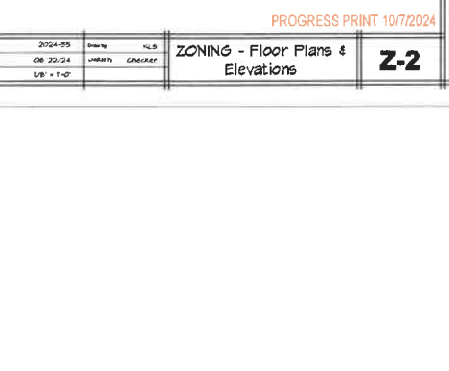
**Second Floor Plan**  
 SCALE: 1/8" = 1'-0"



**Building Elevation - North**  
 SCALE: 1/8" = 1'-0"



**Building Elevation - West**  
 SCALE: 1/8" = 1'-0"



**Building Elevation - South**  
 SCALE: 1/8" = 1'-0"

PROGRESS PRINT 10/7/2024

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Project Number: 2024-05  
 Date: 08/22/24  
 Scale: 1/8" = 1'-0"

**ZONING - Floor Plans & Elevations**

**Z-2**