

Tax Map ID#037.-01-25.1

NOTICE OF HEARING

PLEASE TAKE NOTICE that pursuant to Section 148-4, 148-5 148-6 148-7 148-8 and 148-10 of the Zoning Law of the Town of Skaneateles 2020 and Section 274-a and 274-b Town Law of the State of New York, the Planning Board of the Town of Skaneateles will hold a Public Hearing on the application of Michael & Anne Marie Fallon/Russdee Paws LLC for a Special Permit/Site Plan Review.

The application is for the redevelopment of a lot to expand and replace shoreline structures with a new deck, stairs, and dock.

The property in question is located at 2583 East Lake Road in the Town of Skaneateles, New York and bears Tax Map ID#037.-01-25.1

A copy of the application is available for inspection at the Town Hall, 24 Jordan Street, Skaneateles, New York.

SAID HEARING will be held on *Tuesday, July 19, 2022 at 6:30 p.m.* at the Town Offices, 24 Jordan Street, Skaneateles, New York or electronically as required by local and/or Executive Orders applicable to COVID 19. At that time all persons will be heard or have an opportunity to provide written comment on this application.

Donald Kasper, Chair
Planning Board -Town of Skaneateles
Dated: June 28, 2022

EGGLESTON & KRENZER ARCHITECTS, PC
The Trolley Bldg
1391 East Genesee Street
Skaneateles, New York 13152

June 27, 2022 Revised
June 1, 2022

Town of Skaneateles Planning Board
24 Jordan Street
Skaneateles, NY 13152

Re: Michael and Anne Marie Fallon - Site Plan Review
2583 East Lake Road
Tax Map # 037.-01-25.1

NARRATIVE

The Fallon property is 71,194SF in lot area, has 152 ft of lake frontage and 160.8 ft of road frontage on East Lake Road in the RF District and Skaneateles Lake watershed. The property has a single-family dwelling, detached garage, patio, pool, hot tub, sidewalks and shoreline structures that includes stairs within the required side yard setback. After 2020, a partial tennis court was removed from the property. The ISC is 11.3% and TSC is 17.4%. The total shoreline structures are 79 SF. The property is served by an onsite septic system and draws water from the lake. The shoreline has a steep slope approximately 20 ft to 27 ft high. The stairway is in poor condition with one continuous flight, 20 ft high. The stairs do not meet building code.

This application is to remove the existing stairway and construct a 12 ft x 20 ft deck on top of the bank, a 12 ft x 20 ft dock on steel piles at the bottom of the bank and to build two flights of stairs between them with a 4 ft x 8 ft landing midway down the bank. The deck and stairs will be set on 6 x 6 PT posts and will have minimal disturbance of the ground. The new shoreline structures will be set 20 ft off the south property line. **Paul Olszewski has confirmed that the proposed deck, dock and stair section will fit on the section of cliff as designed.**

The dock will have a floating silt curtain placed around the work area during construction to control any potential turbidity of the water and will remain in place until the water is clear. Much of the work will be done from a barge. The onshore disturbance will be minimal with the posts for the deck and stair landing. When the existing stairs are removed the posts will be cut off at grade. Any disturbed areas will be seeded or planted with ground cover, **held in place by jute mesh**

The total shoreline structures area will be 592 SF, ISC will be reduced to **10.0 % and TSC will be reduced to 16.7 %**. **The garage driveway will be reduced to 24 ft wide and the gravel parking area reduced to 20' x 30' for three cars. Permeable walks will be extended as required. It should be noted that after 2020, the tennis was removed that decreased the ISC by 4,087 SF or 5.7%.**

(315) 685-8144

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CONSTRUCTION SEQUENCE

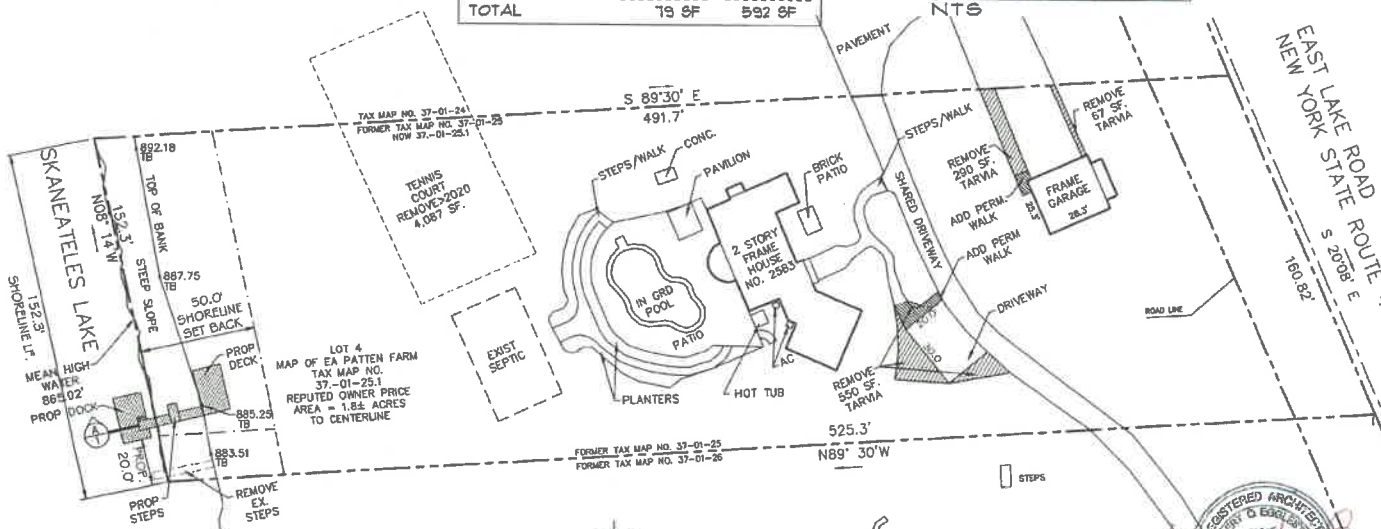
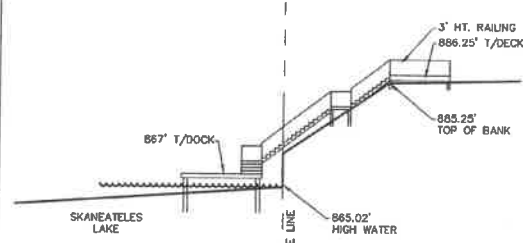
- 1) Install floating silt curtain and sediment logs and maintain during construction
- 2) Install steel piles and frame work for dock. Frame dock surface
- 3) Remove floating silt curtain after water is clear.
- 4) Install posts for deck at top of bank. Construct deck.
- 5) Install 4 posts for stair landing on steep bank.
- 6) Install stairway. Remove existing stairway.
- 7) Patch any disturbed areas on steep slopes with topsoil, **ground cover and mulch held in place by jute mesh. Water during dry periods.**
- 8) **Remove tarvia and gravel driveway areas, extend permeable walkways, add top soil, seed and mulch. Water during dry periods.**

LOT AREA	71,934 SF
SHORELINE	1,523 LF

IMPERMEABLE COVERAGE		
	EXIST.	PROPOSED
HOUSE	2,500 SF	2,500 SF
HOT TUB/ PAVILION	179 SF	179 SF
DRIVE	4,252 SF	3,345 SF
GARAGE	802 SF	802 SF
CONC.	45 SF	45 SF
A.C. (16 SF. EXEMPT)	0 SF	0 SF
POOL SURROUND	259 SF	259 SF
TOTAL	8,037 SF	7,130 SF
% IMPERMEABLE	11.3 %	10.0 %

TOTAL COVERAGE		
	EXIST.	PROPOSED
POOL	760 SF	760 SF
PATIO	2,432 SF	2,432 SF
DECK	0 SF	240 SF
STEP/WALK	1,152 SF	1,322 SF
PERMEABLE	4,344 SF	4,754 SF
IMPERMEABLE	8,037 SF	7,130 SF
TOTAL	12,381 SF	11,884 SF
% TSC	17.4 %	16.7 %

LAKE FRONT STRUCTURES		
	EXIST.	PROPOSED
DECK	0 SF	240 SF
DOCK	0 SF	240 SF
STEPS	79 SF	112 SF
TOTAL	79 SF	592 SF



SITE INFORMATION IS OBTAINED FROM SURVEY DONE BY PAUL J. OLŠZEWSKI, P.E., LL.S. DATED 3/20/2020
 ADDITIONAL INFORMATION BY EGGLESTON & KRENZER ARCHITECTS P.C.



SITE PLAN
 SC.: 1" = 40'-0"



NEW DOCK & STEPS
 ANNE FALLON
 2583 EAST LAKE RD.
 TN. OF SKANATELES, NY

architect
 EGGLESTON & KRENZER, ARCHITECTS PC
 1391 EAST GENESEE STREET
 SKANATELES, NY 13152
 (315) 685-0144

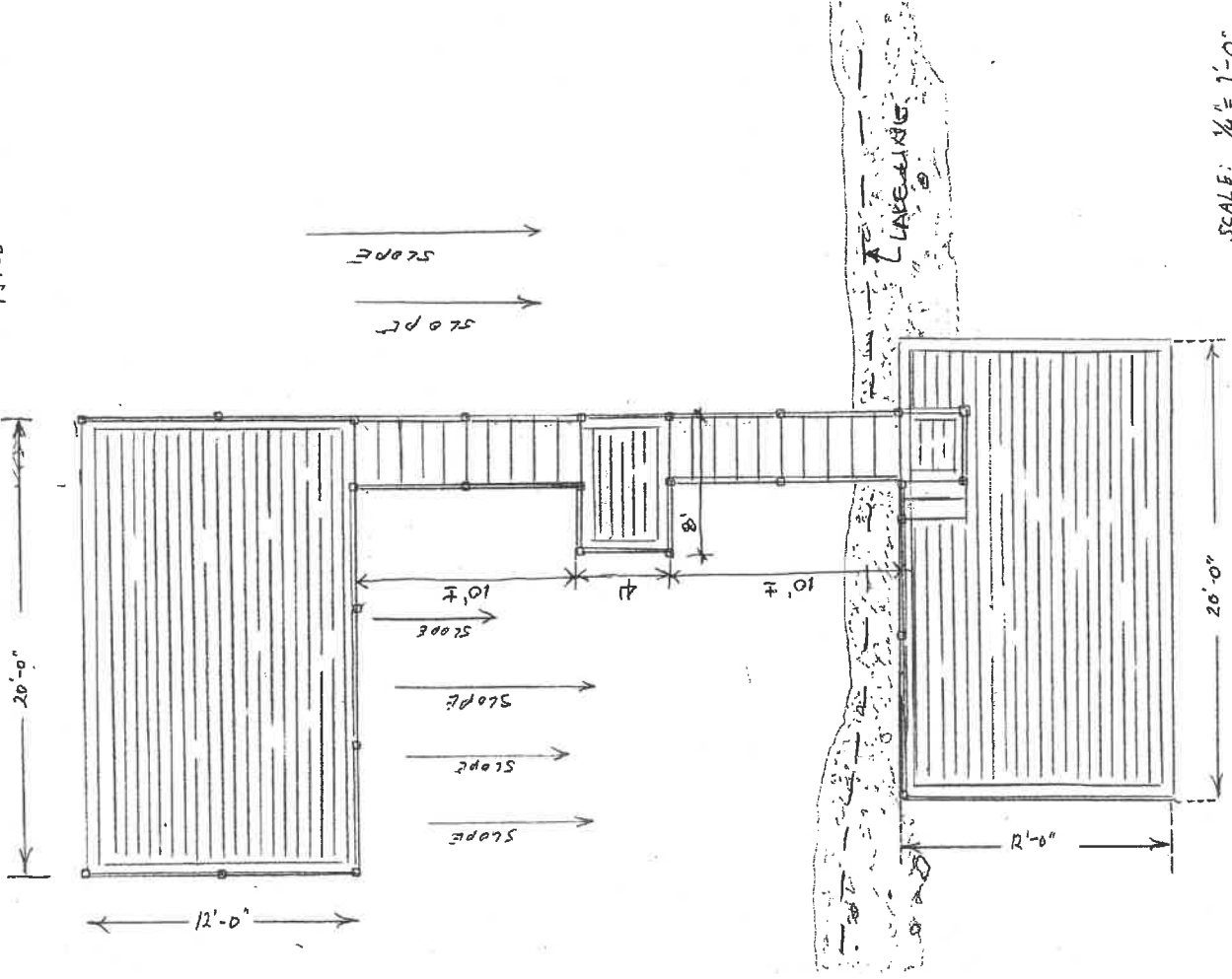
PROJ: 22103

DATE:
 10 JUN 2022
 27 JUN 2022

1 OF 1

"CONTRACTOR"
F. J. ESTLINGBAUM
BARGE & CRANE SERVICE
2685 HOWETT HILL ROAD
MARCELLUS, NEW YORK
13108

OWNER
ANNE MARIE FALLON
2583 EAST LAKE RD
TOWN OF SKANATELES, NY



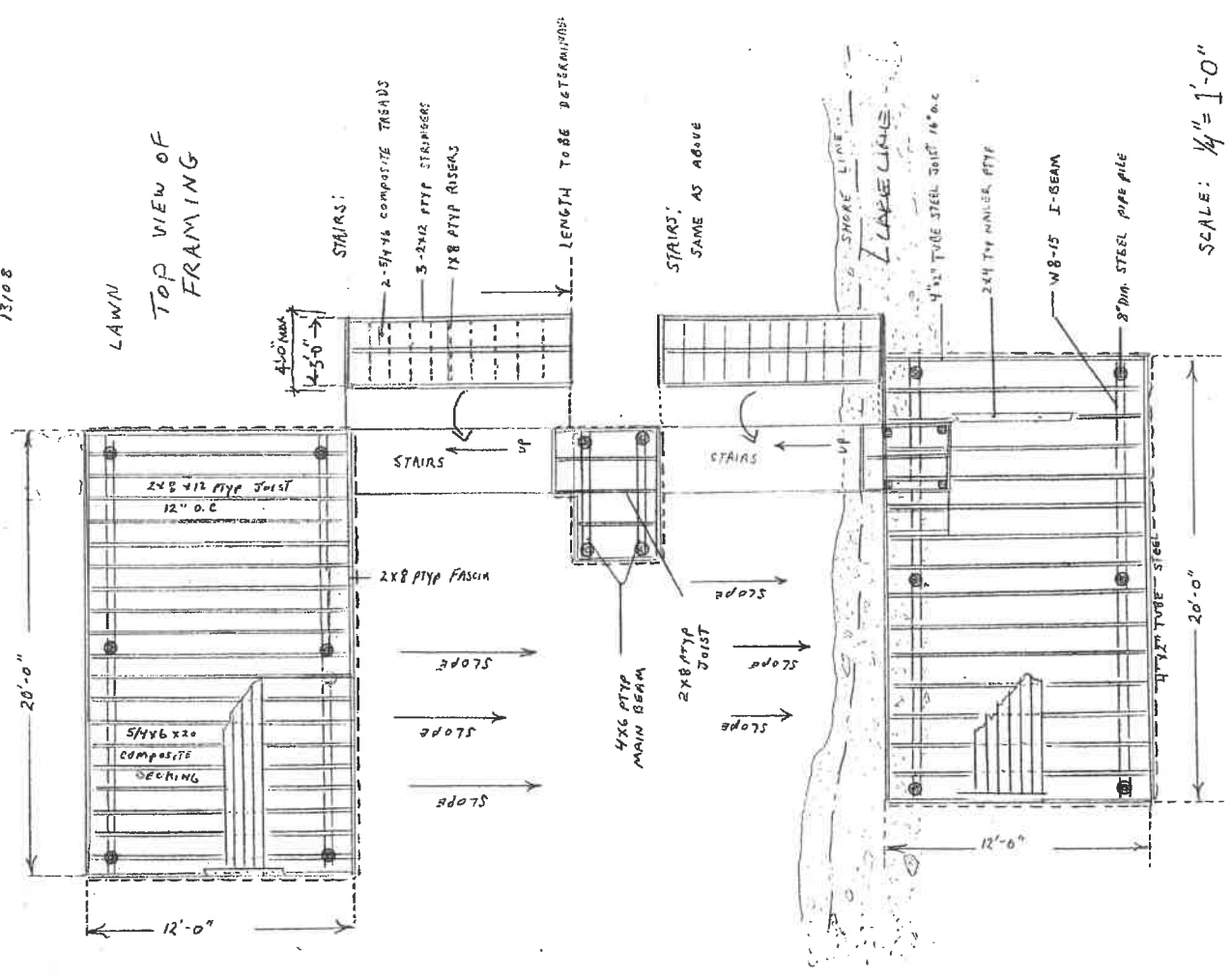
SCALE: 1/4" = 1'-0"

SKANATELES LAKE

JUNE 1, 2022
DWG 1 OF 3

OWNER:
 ANNE MARIE FALLON
 1585 EAST LAKE ROAD
 TH SHANEATELES, NY

CONTRACTOR:
 F. J. ESTLINBAUM
 BARGE & CRANE SERVICE
 2685 HOWLET HILL ROAD
 MARCELLUS, NEW YORK
 13108



LAWN
 TOP VIEW OF
 FRAMING

STAIRS:

2-5/4x6 COMPOSITE TRUSDS
 3-2x12 PTYP STRINGERS
 12x PTYP RISERS

LENGTH TO BE DETERMINED

STAIRS:
 SAME AS ABOVE

SHORE LINE
 LAKE LINE

4" x 4" TUBE STEEL JOIST 16' O.C.

2x4 TYP RAISER, PTYP

W8-15 I-BEAM

8" DIA. STEEL PIPE PILE

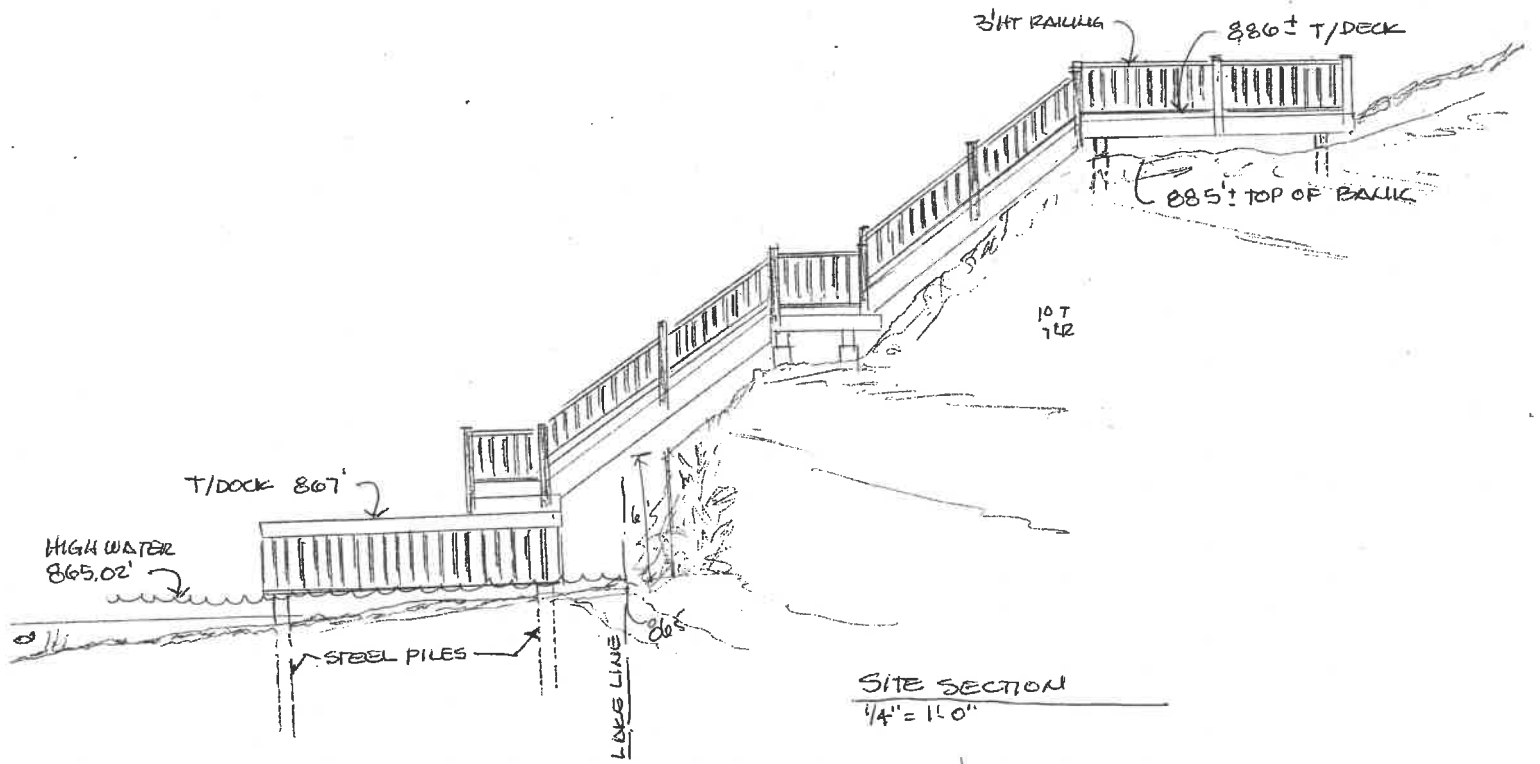
SCALE: 1/4" = 1'-0"



SHANEATELES LAKE

FRAMING PLAN

JUNE 1, 2022
 DWG 2 OF 3



SITE SECTION
 1/4" = 1' 0"

MICHAEL & DANIE MARIE FALON
 2583 EAST LAKE ROAD
 TH SEANAGARLES, NJ

F. J. ESTLIN BAUM
 1685 HOLLOWETT HILL RD
 MARCELLUS, NY 13108

JUNE 1, 2022
 DWG 30F3