

Town of Skaneateles Planning Board
INSERT: MINOR Special Permit/Site Plan Review

(Pursuant to §148-10-5, 6, 8 & 9)

Contact Town Staff if you need assistance

Applicant Name: Deborah L. Bradbury-Duniec
Property Tax Map# 052.-01-03.1

PROJECT CLASSIFICATION

Project is: New project: X
 Amendment: Minor Site Plan Review X

PROJECT DESCRIPTION (attach additional sheets if needed)

1. Describe the proposal:

The project includes an addition to the original house, revising the driveway layout.
the addition of paved pathways and patios around the house, new landscaping and utilities upgrades to storm drainage and septic.

2. Describe existing conditions on the property:

The Duniec Residence, known as "Brook Farm", is a 23.28 Acre parcel with _____ LF of waterfront that includes an existing house undergoing renovation, a tree-lined driveway, a detached garage, a second
garage complex including a greenhouse, chicken coupe foundation, lean-to storage and garage, remnants of farm gardens, forested areas, access paths and drive to waterfront
that includes a boathouse complex with summer room, interior kitchen, outdoor stone barbecue, storage shed, boathouse and waterfront docks.

3. Describe proposed physical or operational changes to the property:

The original house will have an addition added on to either side. The driveway in front of the house will be reconfigured and a gravel drive will be established to connect the driveway to an existing path to the lake.
Walking paths and patios will be added around the house and additions. New landscape areas and drainage will be added within the drive and around the foundation of the house and additions.

SITE PLAN REVIEW STANDARDS – see §148-10-6 and PROCEDURES §148-10-8 & 9

SPECIAL PERMIT REVIEW CRITERIA

The applicant shall submit a narrative written report responding to the criteria below. (see § 148-10-5-B)

1. That the request is consistent with the purposes of the land use district in which it is located and with all applicable provisions of this chapter.
2. That the request will not adversely affect surrounding land uses by creating excessive traffic, noise, dust, odors, glare, pollution or other nuisances.
3. That the request is consistent with the Comprehensive Plan.
4. That all relevant site planning criteria in §148-10-6 are satisfied.

TURN OVER - for REQUIRED SUBMISSIONS

**BROOK FARM
SITE PLAN REVIEW**
2870 WEST LAKE ROAD
SKANEATELES, NY 13152
SUBMITTED ON JUNE 1, 2023
EDR JOB #: 23063



PREPARED FOR:
Mr. Vic and Mrs Debbie Duniec

EDR
a better environment

Environmental
Design & Research,
Landscape Architecture, Engineering
and Environmental Services, P.C.
217 Montgomery Avenue, Suite 1100
Skaneateles, New York 13152
P. 315.471.0688

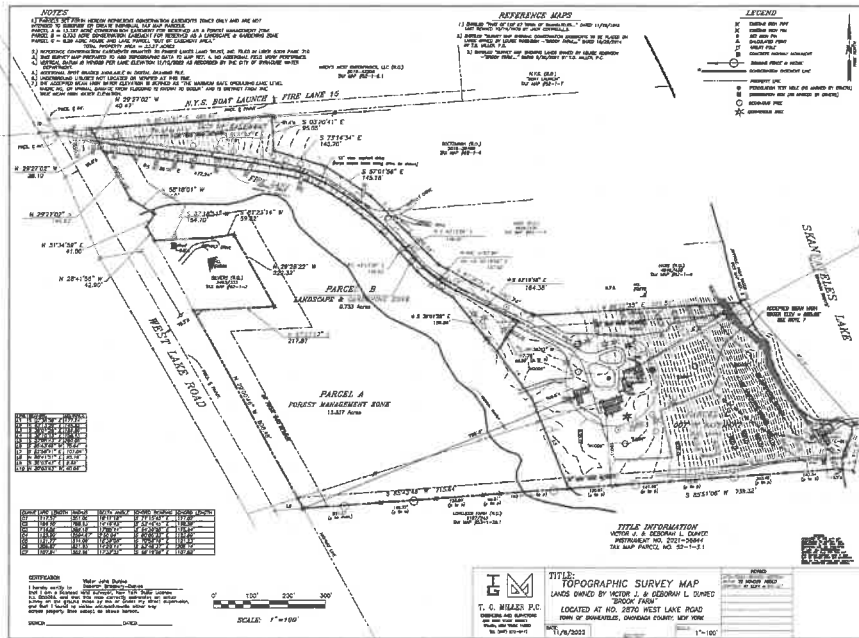
PROJECT IMAGE / MAP:



SCALE: NTS

DRAWING INDEX:

S-001 EXISTING CONDITIONS SURVEY
C-002 SITE PLAN
C-003 GRADING PLAN
C-004 EROSION AND SEDIMENT CONTROL PLAN
C-005 DETAILS



EXISTING CONDITIONS SURVEY

T-1004

S-001

PERMISSIBLE SURFACES	EXISTING	PROPOSED
RESURFACING (PAVING)	1,213 SF	1,213 SF
DRIVEWAY	1,191 SF	1,191 SF
GRASSY COMPACTED SUBSTRATE DRIVEWAY/CONCRETE COMPACTED DRIVEWAY	2,149 SF	2,149 SF
ROAD	752 SF	752 SF
DRIVEWAY COMPACT	7,177 SF	7,177 SF
CORNER	24,461 SF	24,461 SF
CONCRETE	7,813 SF	7,813 SF
WOOD	50 SF	50 SF
BRICK	461 SF	461 SF
CONCRETE	132 SF	132 SF
CONCRETE	489 SF	489 SF
WOOD	362 SF	362 SF
PAVING	492 SF	492 SF
DRIVEWAY	199 SF	199 SF
CONCRETE	121 SF	121 SF
WOOD	45 SF	45 SF
CONCRETE	13 SF	13 SF
WOOD	34 SF	34 SF
WOOD	1,183 SF	1,183 SF
TOTAL PERMISSIBLE SURFACES	37,112 SF	37,112 SF
PERMISSIBLE	3,874 SF	3,874 SF

PERMISSIBLE SURFACES	EXISTING	PROPOSED
TOTAL PERMISSIBLE SURFACES	37,112 SF	37,112 SF
PERMISSIBLE	3,874 SF	3,874 SF

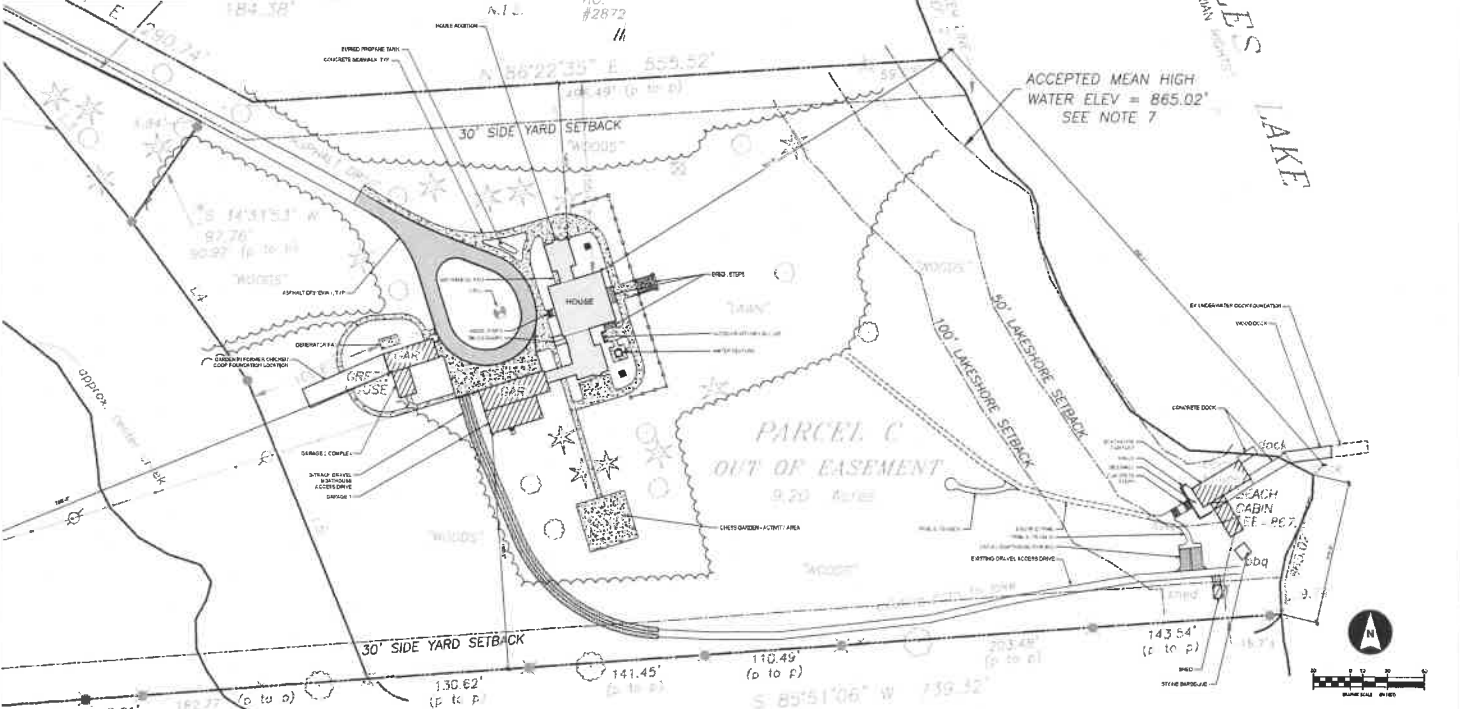
PERMISSIBLE SURFACES	EXISTING	PROPOSED
TOTAL PERMISSIBLE SURFACES	37,112 SF	37,112 SF
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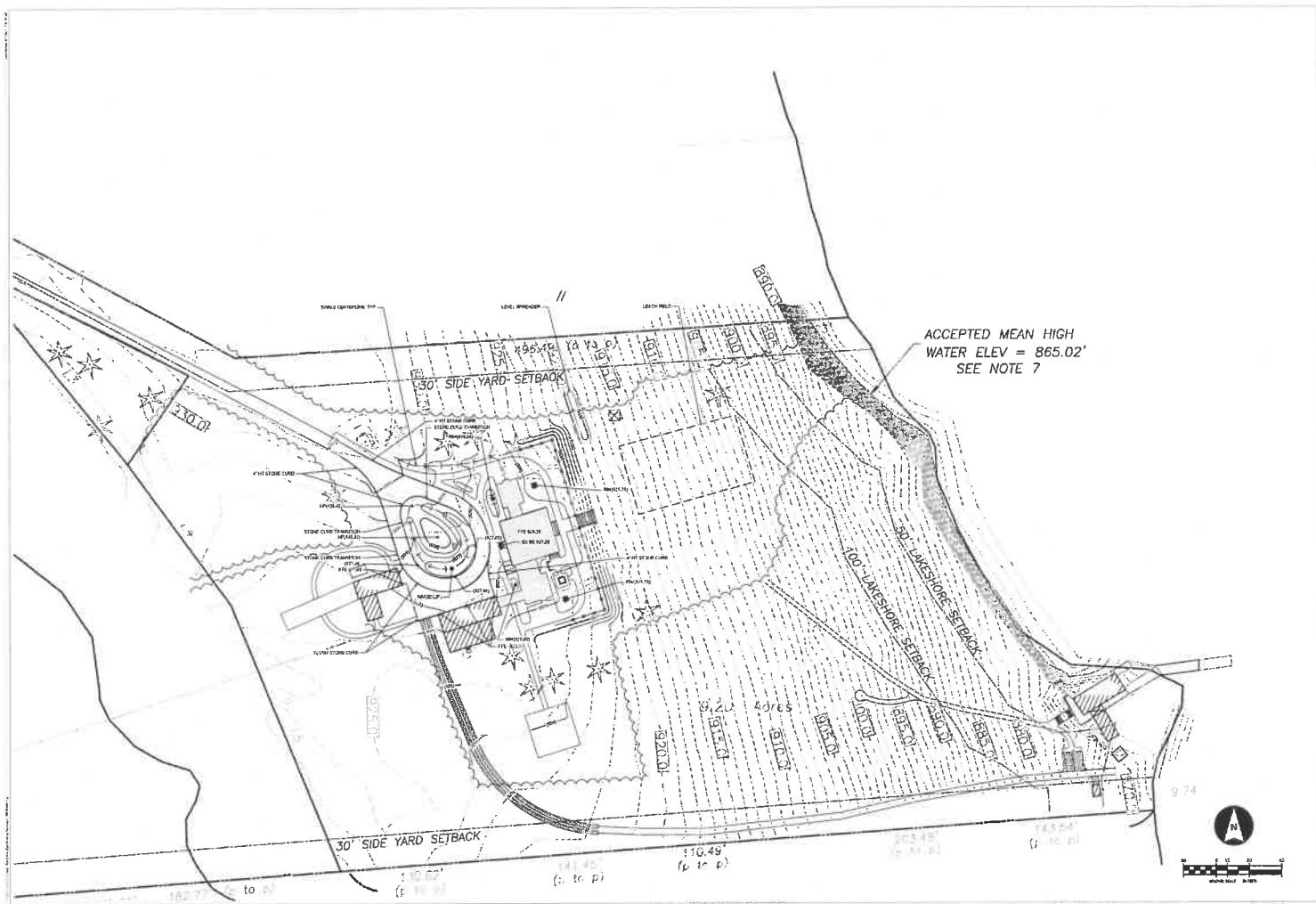
MASS (R.O.)
4846/438
TAX MAP #52 1 4



EDR Environmental Design & Research
Environmental Design & Research
100 Brook Farm Road
Brook Farm, NJ 07003
Tel: 908.866.0000
Fax: 908.866.0001
P. 315.471.6688

BRook FARM

NO.	DATE	DESCRIPTION
1	11/13/11	PRELIMINARY
2	12/15/11	REVISED
3	02/01/12	REVISED
4	03/01/12	REVISED
5	04/01/12	REVISED
6	05/01/12	REVISED
7	06/01/12	REVISED
8	07/01/12	REVISED
9	08/01/12	REVISED
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97	12/01/19	REVISED
98	01/01/20	REVISED
99	02/01/20	REVISED
100	03/01/20	REVISED



ACCEPTED MEAN HIGH
WATER ELEV = 865.02'
SEE NOTE 7



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BROOK FARM

GRADING PLAN

NO.	DESCRIPTION	DATE

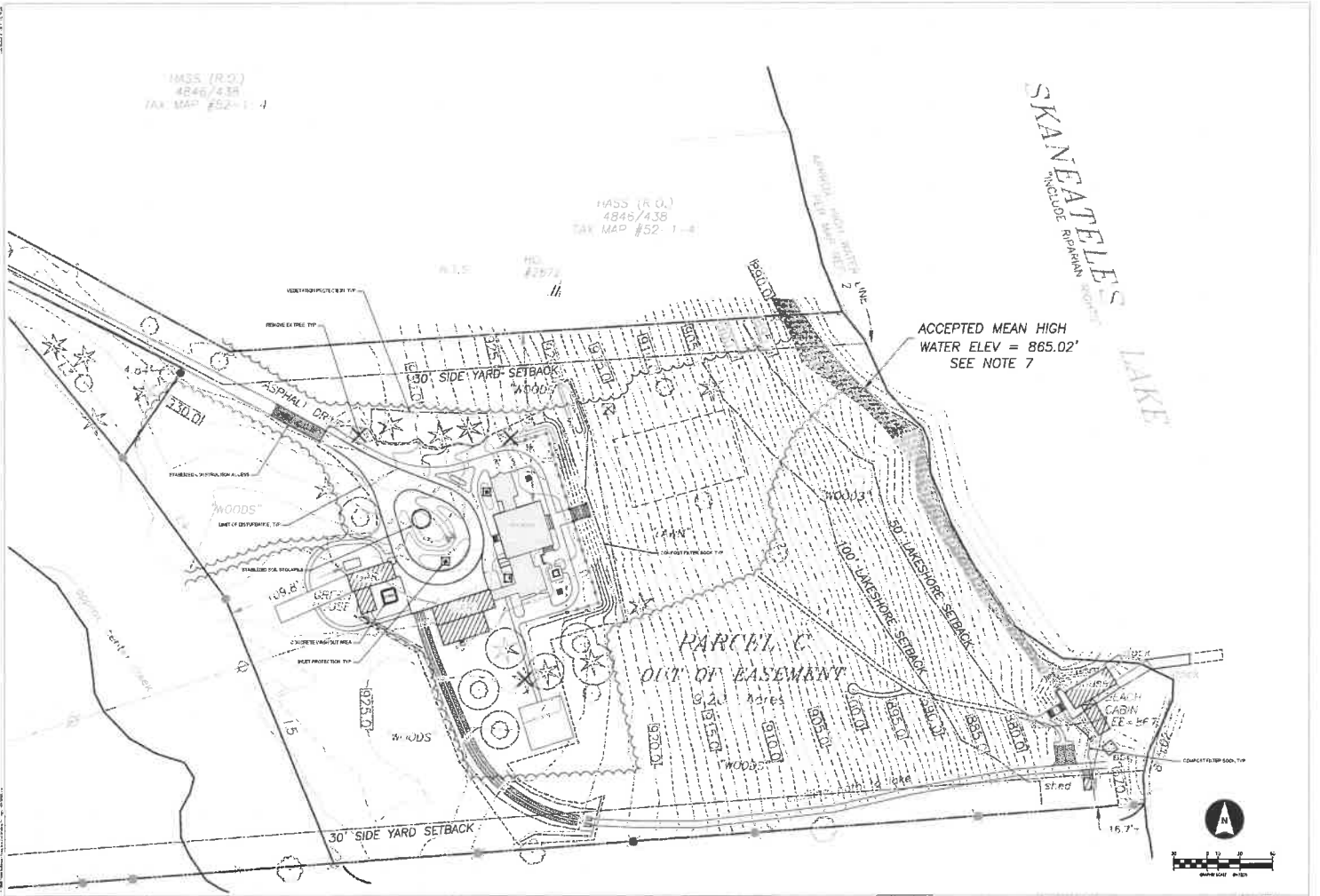
C-003

MASS. (R.O.)
4846/438
TAX MAP #52-1-4

MASS. (R.O.)
4846/438
TAX MAP #52-1-4

SKANEATELES LAKE
INCLUDE RIPTERRAIN NOTICES

ACCEPTED MEAN HIGH
WATER ELEV = 865.02'
SEE NOTE 7



Environmental Design & Research, Inc.
1000 Main Street
Brook Farm, New York 11716
Tel: 845-339-1100
Fax: 845-339-1101
www.edrinc.com

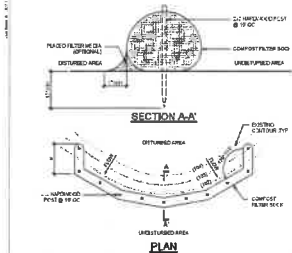


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INC.
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PROJECT: **BROOK FARM**
DATE: 08/15/2011
SCALE: AS SHOWN
DRAWN BY: J. J. JONES
CHECKED BY: J. J. JONES
PROJECT NO.: 11-001
SHEET NO.: 1 OF 1
EROSION AND SEDIMENT CONTROL PLAN

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/15/2011
2	REVISED PER PERMIT COMMENTS	08/15/2011
3	REVISED PER PERMIT COMMENTS	08/15/2011
4	REVISED PER PERMIT COMMENTS	08/15/2011
5	REVISED PER PERMIT COMMENTS	08/15/2011
6	REVISED PER PERMIT COMMENTS	08/15/2011
7	REVISED PER PERMIT COMMENTS	08/15/2011
8	REVISED PER PERMIT COMMENTS	08/15/2011
9	REVISED PER PERMIT COMMENTS	08/15/2011
10	REVISED PER PERMIT COMMENTS	08/15/2011

C-004



- NOTE:
1. COMPOST FILTER SOCK SHALL BE PLACED ON THE CONTOUR WITH BOTH TERMINAL ENDS OF CONTOUR EXPOSED TO SOIL SURFACE.
 2. SOIL SURFACE SHALL BE LEVEL WITH TOP OF SOCK.
 3. SOIL SURFACE SHALL BE LEVEL WITH TOP OF SOCK. SEE TABLE 1 FOR MAXIMUM SLOPE LENGTH ABOVE COMPOST FILTER SOCK.
 4. SOIL SURFACE SHALL BE LEVEL WITH TOP OF SOCK. SEE TABLE 1 FOR MAXIMUM SLOPE LENGTH ABOVE COMPOST FILTER SOCK.

SLOPE (%)	SLOPE (%)						
	1	2	3	4	5	6	7
5	50	100	150	200	250	300	350
10	25	50	75	100	125	150	175
15	17	33	50	67	83	100	117
20	13	25	37	50	63	75	87
25	10	17	25	33	40	50	57
30	8	13	17	20	25	30	33
35	7	10	13	15	17	20	23
40	6	7	9	10	11	13	15

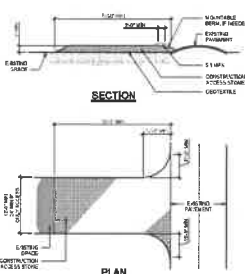
PARAMETER	STANDARD
APPROXIMATE PERCENT FINES	100%
APPROXIMATE PERCENT 47.5 MICRONS	100%
APPROXIMATE PERCENT 75 MICRONS	100%
APPROXIMATE PERCENT 150 MICRONS	100%
APPROXIMATE PERCENT 300 MICRONS	100%
APPROXIMATE PERCENT 600 MICRONS	100%
APPROXIMATE PERCENT 1250 MICRONS	100%
APPROXIMATE PERCENT 2500 MICRONS	100%
APPROXIMATE PERCENT 5000 MICRONS	100%
APPROXIMATE PERCENT 10000 MICRONS	100%
APPROXIMATE PERCENT 20000 MICRONS	100%
APPROXIMATE PERCENT 40000 MICRONS	100%
APPROXIMATE PERCENT 80000 MICRONS	100%
APPROXIMATE PERCENT 160000 MICRONS	100%
APPROXIMATE PERCENT 320000 MICRONS	100%
APPROXIMATE PERCENT 640000 MICRONS	100%
APPROXIMATE PERCENT 1280000 MICRONS	100%
APPROXIMATE PERCENT 2560000 MICRONS	100%
APPROXIMATE PERCENT 5120000 MICRONS	100%
APPROXIMATE PERCENT 10240000 MICRONS	100%
APPROXIMATE PERCENT 20480000 MICRONS	100%
APPROXIMATE PERCENT 40960000 MICRONS	100%
APPROXIMATE PERCENT 81920000 MICRONS	100%
APPROXIMATE PERCENT 163840000 MICRONS	100%
APPROXIMATE PERCENT 327680000 MICRONS	100%

PROPERTY	MINIMUM VALUE
TENSILE STRENGTH (LBS/INCH)	100
TENSILE STRENGTH (KG/CM)	7.1
TEAR STRENGTH (LBS/INCH)	100
TEAR STRENGTH (KG/CM)	7.1
PERMEABILITY (L/HR/INCH)	100
PERMEABILITY (L/HR/CM)	3.9
PERMEABILITY (L/HR/INCH)	100
PERMEABILITY (L/HR/CM)	3.9
PERMEABILITY (L/HR/INCH)	100
PERMEABILITY (L/HR/CM)	3.9

- NOTE:
1. THE COMPOST SOCK SHALL BE MADE OF 100% POLYPROPYLENE WITH A MINIMUM TENSILE STRENGTH OF 100 LBS/INCH.
 2. THE COMPOST SOCK SHALL BE MADE OF 100% POLYPROPYLENE WITH A MINIMUM TENSILE STRENGTH OF 100 LBS/INCH.
 3. THE COMPOST SOCK SHALL BE MADE OF 100% POLYPROPYLENE WITH A MINIMUM TENSILE STRENGTH OF 100 LBS/INCH.
 4. THE COMPOST SOCK SHALL BE MADE OF 100% POLYPROPYLENE WITH A MINIMUM TENSILE STRENGTH OF 100 LBS/INCH.
 5. THE COMPOST SOCK SHALL BE MADE OF 100% POLYPROPYLENE WITH A MINIMUM TENSILE STRENGTH OF 100 LBS/INCH.

1 COMPOST FILTER SOCK

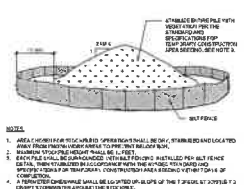
Scale: NTS



- NOTE:
1. CONSTRUCTION ACCESS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
 2. THE ACCESS SHALL BE CONSTRUCTED TO PROVIDE UNOBSTRUCTED ACCESS TO ALL AREAS OF THE PROJECT.
 3. THE ACCESS SHALL BE CONSTRUCTED TO PROVIDE UNOBSTRUCTED ACCESS TO ALL AREAS OF THE PROJECT.
 4. THE ACCESS SHALL BE CONSTRUCTED TO PROVIDE UNOBSTRUCTED ACCESS TO ALL AREAS OF THE PROJECT.
 5. THE ACCESS SHALL BE CONSTRUCTED TO PROVIDE UNOBSTRUCTED ACCESS TO ALL AREAS OF THE PROJECT.

1 STABILIZED CONSTRUCTION ACCESS

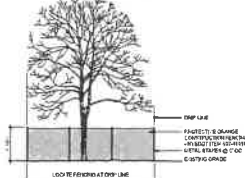
Scale: NTS



- NOTE:
1. THE STOCKPILE SHALL BE STABILIZED BY APPLYING AN ORGANIC POLYMER TO THE SURFACE OF THE STOCKPILE.
 2. THE STOCKPILE SHALL BE STABILIZED BY APPLYING AN ORGANIC POLYMER TO THE SURFACE OF THE STOCKPILE.
 3. THE STOCKPILE SHALL BE STABILIZED BY APPLYING AN ORGANIC POLYMER TO THE SURFACE OF THE STOCKPILE.
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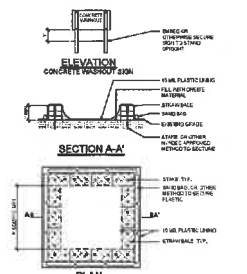
1 STABILIZED SOIL STOCKPILE

Scale: NTS



1 VEGETATION PROTECTION

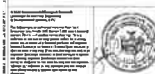
Scale: NTS



- NOTE:
1. THE CONCRETE SHALL BE REINFORCED WITH #4 REBAR AT 18\"/>
 - 2. THE CONCRETE SHALL BE REINFORCED WITH #4 REBAR AT 18\"/>
 - 3. THE CONCRETE SHALL BE REINFORCED WITH #4 REBAR AT 18\"/>
 - 4. THE CONCRETE SHALL BE REINFORCED WITH #4 REBAR AT 18\"/>
 - 5. THE CONCRETE SHALL BE REINFORCED WITH #4 REBAR AT 18\"/>

1 CONCRETE WASHOUT AREA

Scale: NTS



EDR
Environmental Design & Research
a better environment
12111 E. 15th Ave.
Denver, CO 80232
Tel: 303.752.0200
Fax: 303.752.0201
www.edrinc.com
P. 315.471.0688

BROOK FARM
Environmental Design & Research
12111 E. 15th Ave.
Denver, CO 80232
Tel: 303.752.0200
Fax: 303.752.0201
www.edrinc.com
P. 315.471.0688

NO.	REVISION	DATE



REV.	DATE	BY	DESCRIPTION

I, the undersigned, hereby certify that I am a duly Licensed Professional Architect in the State of New York, and that I am the author of the design and drawings hereon, and that I am not providing any services in violation of the provisions of the laws of the State of New York.

DATE: 06-25-2023
 DRAWN BY: M.C. LARSEN
 SCALE: AS SHOWN

BROOK FARM
 2870 WEST LAKE ROAD, SKANEATELES, NY 13152
HOLMES & KING • KALLOUJIS
 ARCHITECTS
 8779 NORTH MAIN STREET, SPRINGVILLE, NY 13299
 PHONE: 518-537-8877
 WWW.HOLMESANDKING.COM

EXTERIOR ELEVATION

A2.1
 DATE PUBLISHED: June 1, 2023

ELEVATION - WEST
 A2.1



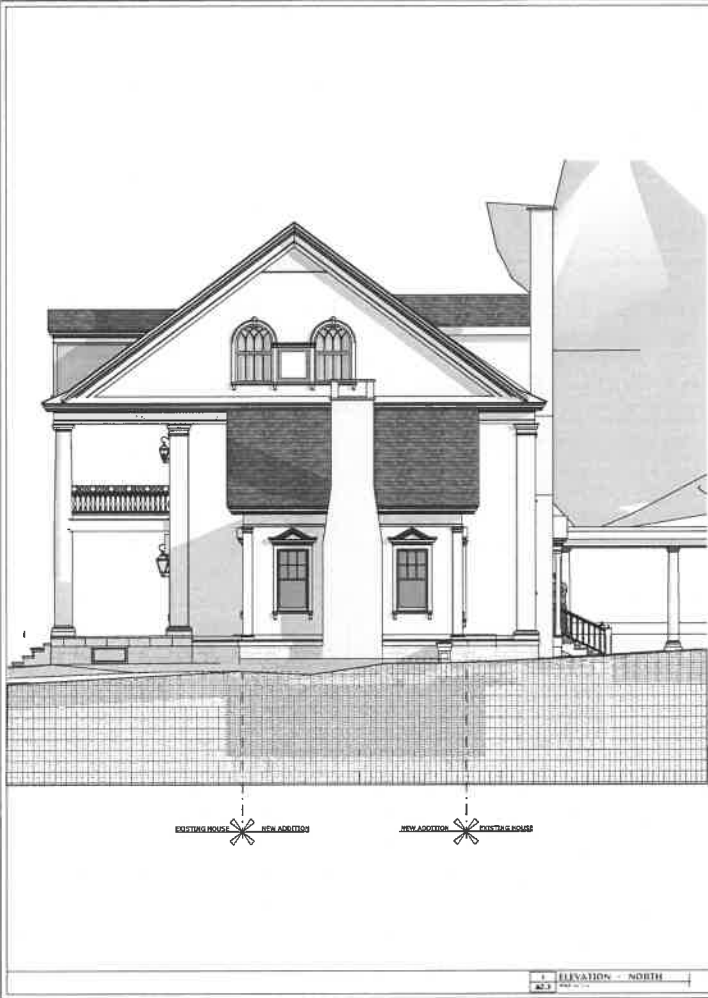
REV	DATE	BY	DESCRIPTION

JOB NO. 2008
 DATE 06-06-2002
 DRAWN BY WEL
 SCALE AS NOTED

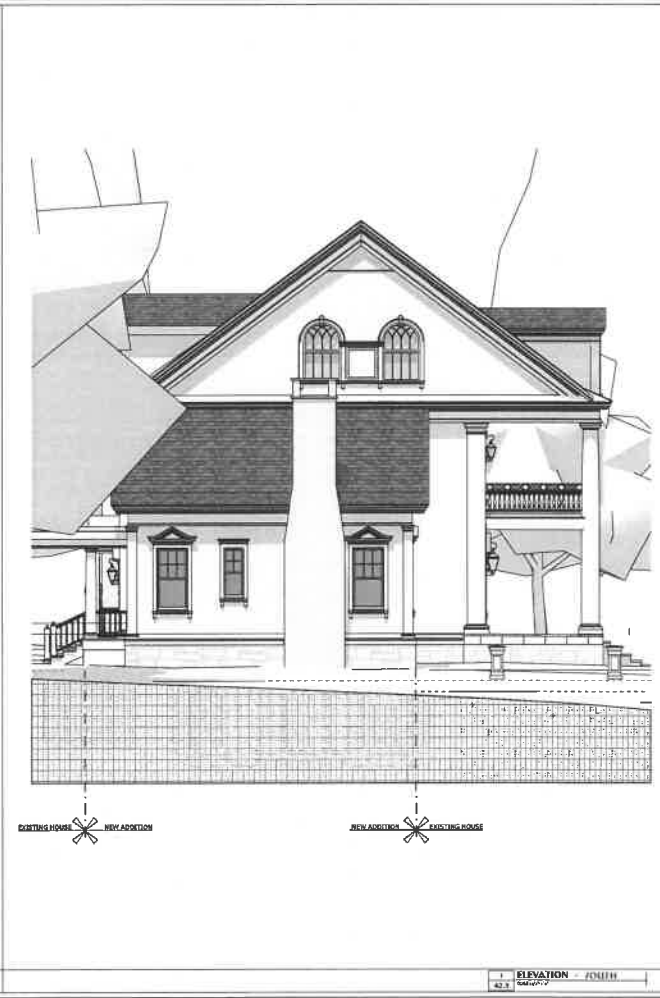
BROOK FARM
 200 WEST LAKE ROAD, SKANSKATES, NJ 07112
HOLMESKING • KALLOUST
 & ASSOCIATES, ARCHITECTS, LLP
 875 NORTH CALUMET STREET, PITTSBURGH, PA 15212
 PHONE: 412.781.1111
 FAX: 412.781.1112
 WWW.HOLMESKING.COM

EXTERIOR ELEVATION
A2.2
 DATE PUBLISHED: June 1, 2002

ELEVATION - EAST
 A2.2



1 ELEVATION - NORTH
A2.3



1 ELEVATION - SOUTH
A2.3

REV.	DATE	BY/TAI	DESCRIPTION

JOB NO. 23008
DATE 09-26-2023
DRAWN BY M2-LIA
SCALE AS NOTED

BROOK FARM
2870 WESTLAKE ROAD, SKANEATELES, NY 13152
HOLMES & KALLOUJ
ARCHITECTS
8783 NORTHVALE STREET, SPRINGVILLE, NY 13299
PHONE 518-478-8800 FAX 518-478-8871
LOCALITY: PROJECT NO. 23008
DATE PUBLISHED: 09/26/23
SCALE: AS NOTED

EXTERIOR ELEVATIONS

A2.3
DATE PUBLISHED: June 1, 2023