

PROJECT NARRATIVE: Anyela's Vineyard's and 2413 West Lake Rd (Second Revised 6/10/2024)

At the planning board meeting on March 26, 2024, Leif Kallquist and myself presented a site plan and explanation associated with the renovation of a historic event barn for Anyela's Vineyards. At that meeting it was identified by the town engineer (John Camp) that a drainage and storm water plan needed to be developed for this site. To that request, a plan was developed and submitted by Anyela's engineers and reviewed by John Camp (See references to plans within the narrative). The revised narrative below explains the entire process: proposed plans and incorporates changes that needed to take place because of the drainage restrictions.

Background:

In April 2023, the 6 acres lot, with house and barn, namely 2413 West Lake Rd. came for sale and Anyela's Vineyards purchased it. The barn is in slight disrepair, however, has considerable charm and historic value. The eventual goal was to reestablish the farmstead to its original state (house, barn, and farmland). An application and narrative (below) were submitted and reviewed by the Planning board at a meeting of 8/15/23 and a public hearing was held on 9/19/23. After review and hearing with no response from the public, the amendment application and merger (tax map .055-03-13.1 and -13.2) request was approved with resolutions.

***Narrative of 7/26/23:** "The project consists of renovating an antique barn to create a multi-functional gathering area: additional tasting room for our estate winery, event gathering for our wine club lecture events, covered location of a "farm to table" catered dining events, private and commercial events. The property on which the barn resides (Tax Map # 055.-03-13.1) will be merged with the property which holds Anyela's Vineyards (Tax Map # 055.-03-13.2). The barn is uniquely positioned adjacent to a block of our vineyards which provides an immediate connection to agriculture and holds historic value in the local community: representing the presence and sustainability of agricultural history. The barn requires some infrastructural enhancement in the basement area to provide a sound and safe foundation to support about 150 occupants (36 x 78' = 2,808 sq ft, @ 15 sq ft/person). In addition, the main floor will require some board replacement and refurbishment. A smooth transition access ramp area will be developed for disabled guests and a 44'x 20' deck on the east side will provide an outside area to enjoy the vineyards. The barn possesses an intimate proximity to our current facility and customer flow. The barn will serve to tie the old and new elements of agriculture. Portable toilets and/or a restroom toilet trailer (depending on the event) will be provided at this time.*

The barn will be used seasonally (May-October) and therefore will not require winterization. Currently the barn is used for storage. During the off season (November-April) the barn will continue as a storage area for agriculture equipment.

It is expected the barn usage (May- October) will be similar to that of Anyela's , whereby:

- Special and overflow wine tastings will be performed as needed: 12-5 pm, possibly 2-3 times/week*
- Wine club gatherings, special event gatherings (private and commercial): Variable hours but not later than 10pm, possibly 2-3 times/week*
- Catered "farm to table" wine pairing events, variable hours but not later than 10 pm, possibly 1-2/month*

There will be no additional parking required for this barn beyond that which already exists for Anyela's. Handicapped people can be driven to the barn from Anyela's main entrance, dropped off and the car returned to existing parking lots."

At the time the original application was filed, and narrative were prepared (7/26/2023) very little planning was introduced into the project and its potential. In addition, a time dependent grant submission was pending. The grant was sponsored by the NYS Craft Beverage Grant Program, which unfortunately was not awarded. Since that time, much consideration has been given to the functionality of the area and its proximity to Anyela's Vineyards, thus the reason for this revised narrative and amended submission.

MAJOR ADDITIONS ASSOCIATED WITH THIS CURRENT AMENDED APPLICATION:

- Covered patio, Covered Service Patio and Pergola Area attached to barn.
- Farm Road connecting North and South vineyards with Overflow Parking off the road.
- Access Road from main winery driveway to barn.
- Handicap Drop Off and Parking area near barn.

Illustrations:

T1.1 TITLE SHEET & DRAWING INDEX (SYMBOLS & ABBREVIATIONS)
C1.0 Site Plan (Full w/ Use Designations)
C1.1 Site Plan (Enlarged Area of Interest)
L1.0 SITE PLAN
L2.0 DETAILS
L3.0 EROSION CONTROL PLAN
A1.1 Barn- Main Floor
A1.3 Barn- Roof Plan
A2.0 Barn- North and West Elevations
A2.1 Barn- East and South Elevations
A9.0 PROPOSED -AXONS

This Amended project has two parts:

1. BARN RENOVATION AND IMPROVEMENT

2. LANDSCAPE INTEGRATION

1. BARN RENOVATION AND IMPROVEMENT (C1.1, A1.1, A1.3, A2.0, A2.1, A9.0, A9.1)

- includes structural reinforcement (barn support post replacement), floor replacement, new sliding barn doors, covered patio, covered service area, pergola, and barn insulation (See C1.0, A1.1, A1.3, A2.0, A2.1).

- The originally approved project included an approximately 1000 sq ft open deck off the west and north end of the barn. The present amendment will seek expansion into a 36' x 32' "covered patio" (labeled in C1.1) directly off the west end of the barn (C1.1, A1.1). Attached to the south side of the "covered patio" will be a 36' x 41' "covered service patio" that will house a catering trailer and portable restroom (labeled in C1.1). Both of these covered areas will provide protection from inclement weather. On the north side of the "covered patio" area will be a 36' x 20' "pergola area" (labeled in C1.1).
 - The capacity for the main barn will be 99 visitors and for the "Covered Patio" 70 visitors.
- **Motif:** All additional construction will possess architectural design and use materials that will mimic the "vision" of the original historic barn (A9.0).
 - **Uses:** this facility uses will include all activities Anyela's Vineyards has and is currently conducting and will facilitate:
 - Special and overflow wine tastings to be performed as needed (daily, ranging from 2-50 people).
 - All food preparation will be conducted by a caterer with the catering trailer located under the "covered service patio" (C1.1, A1.1).
 - Special event gatherings including:
 - Private and commercial wine tastings: will occur at variable days and hours, as they present themselves (estimate 2-3 times/week) and will not be held later than 10pm.
 - Catered "farm to table" wine pairing events: will occur at variable days and hours, as they present themselves (estimate 2-3 times/week) and will not be held later than 10pm.
 - Rehearsals, ceremonies, and weddings reception gatherings will occur at variable days and hours, as they present themselves (estimate 2-3 times/week) and will not be held later than 10pm.
 - A specific event may or may not be accompanied by music. If music is used for an event, amplification will be in stride with programs conducted at Anyela's for the past 15 years resulting in no adverse noise concerns in the neighborhood. No music will be held later than 10 pm.
 - No plans are currently being made for the farmhouse.

Specific Renovation Considerations:

- **Barn insulation:** The barn may be insulated to allow for more effective climate and sound control and will allow events to occur year-round if needed in conjunction with

what is currently occurring at Anyela's. Sound from amplified music will be directed westerly, away from surrounding neighbors, like that of the Robinson Pavilion (operated by the Skaneateles Festival) currently on site.

- **Catering and restroom trailers:** will be parked parallel to each other and will enter the "service patio" from the west, as needed (See C1.1, A1.1, A9.0). The restroom will have its own contained septic system and will be serviced as needed by L.A. Mathieson. The customer entrance into the restroom trailer will be away from public view, facing south. The catering trailer is also self-contained and will come and go as needed. The service side of the catering trailer will be camouflaged by a partial wall with sliding doors. The east end wall of the "service patio" will contain a trellis with grape vines grown to camouflage the back of both trailers.
- **Utilities:** The source of potable water for use in both trailers will originate from the preexisting water system on this property and water quality will be under the guidance of the Onondaga Health Department. A 200-amp electrical service will be installed to accommodate electrical needs. The service will be run off a utility pole on the east end of the barn (C1.1).
- **Run Off:** run off water will be dealt with according to the plans outlined by the illustrated drainage plan that has been submitted (C1.1)
- **Operating Strategy:** Anyela's has a successful operating strategy for the types of events that will be hosted in this facility, as they have been and are hosted at Anyela's. Strategies include adequate parking and traffic management with signs and personal, signs advertising designations and handicap parking, foot path demarcation (day and night), and visitor handicap transport on site when requested
- **Visitor flow:** ingress/egress barn: Visitors will proceed from the parking area via walking paths. Entry to the barn will be through the doors on the west end of the patio. Circulation to the restroom area will be under cover. Exiting the barn will be through the same doors from which they entered.

2. LANDSCAPE INTEGRATION OF THE SIX ACRES INTO FLOW OF ANYELA'S VINEYARDS (SITE PLAN AND LANDSCAPE RENDERING, (T1.1, L1.0, L2.0, L3.0, C1.0, C1.1).

- **Property Merger:** The property on which the barn resides (Tax Map # 055.-03-13.1) has merged with the property which holds Anyela's Vineyards (Tax Map # 055.-03-13.2). The application was received November 2, 2023, and the "Tax Status Date" was March 1, 2024
- The objective of the landscape program is to create and manage the landscape such that it has functionality yet mitigates any potential run off or drainage issues. Additionally, strive to maintain the natural appearance and support the agricultural element of

Anyela's and accentuates the view shed of the vineyard and lake, while providing connectivity and accessibility between locations.

- Elements of the landscape integration are shown in the attached site plan (C1.1).
- The site plan (C1.0) illustrates how the barn fits into the proximity of the entire property. The barn is uniquely positioned adjacent to a block of established vineyards which provides an immediate connection to agriculture and holds historic value in the local community.
- The primary separation between the historic barn and Anyela's existing buildings consists of an "open field" area (~70' x 600', C1.1). Additionally, as we progress east, indigenous trees in various stages of health (mainly walnut and ash) and heavily thicketed areas exist. Healthy trees have been tagged and remain, while dead, ill and undesirable foliage will be removed. "Minimum mow" grass will be planted to create a glade appearance. The northeast end of the barn area has undesirable foliage which poses a traffic visibility threat. This will be removed and replaced with low level shrubs which will not obstruct traffic visibility.
- A 50' x 100' area west of the renovated barn will be maintained in grass in case a tented area is required.

Farm road and overflow parking: (T1.1, L1.0, L2.0, L3.0, C1.0)

- The "open field" bordering the west end of the property will have a farm road (T1.1, L1.0, L2.0, L3.0) incorporated, which logistically connects our North and South vineyards for farm traffic and will also connect into the regular tasting room parking lot. This farm road will be used regularly and as needed for agricultural activities.
- During events, parking will exist on each side of the farm road. The entire field will be framed by two rows of grapes on each side (T1.1, L1.0, L2.0, L3.0, C1.1).
- Access walking paths will be incorporated to allow pedestrian circulation among facilities.
- All car traffic will enter from the main winery entrance (C1.0). Traffic will enter the farm road overflow parking from the north and traffic will exit to the south and proceed through the regular tasting room parking lot and continue north out the main road (C1.0) to exit. All traffic will be managed by parking attendants (Anyela's employees) and appropriate signage will be displayed.
- Lighting for access roads and walking paths (C1.1) will be lit with fixtures that coincide with the current lighting program at Anyela's (Path lights every 30' and Post lamps every 50').

Access Drive from main winery driveway to barn:

- The “access drive” (C1.1) will be an extension from a road heading east off the main winery road along the south side of a vineyard. The “access drive” will continue east toward the west barn area. The road will be a gravel road and will accommodate supply drop off.

Handicap Drop Off and Parking area near barn.

- The “access drive” will also be used as a handicap drop off site, as requested (C1.1) and as is currently being done successfully at Anyela’s. The short entrance drive from the barn to 41A will be designated “Emergency Use Only”, with a gate to block access from “normal” visitor traffic.

Water Runoff Plan:

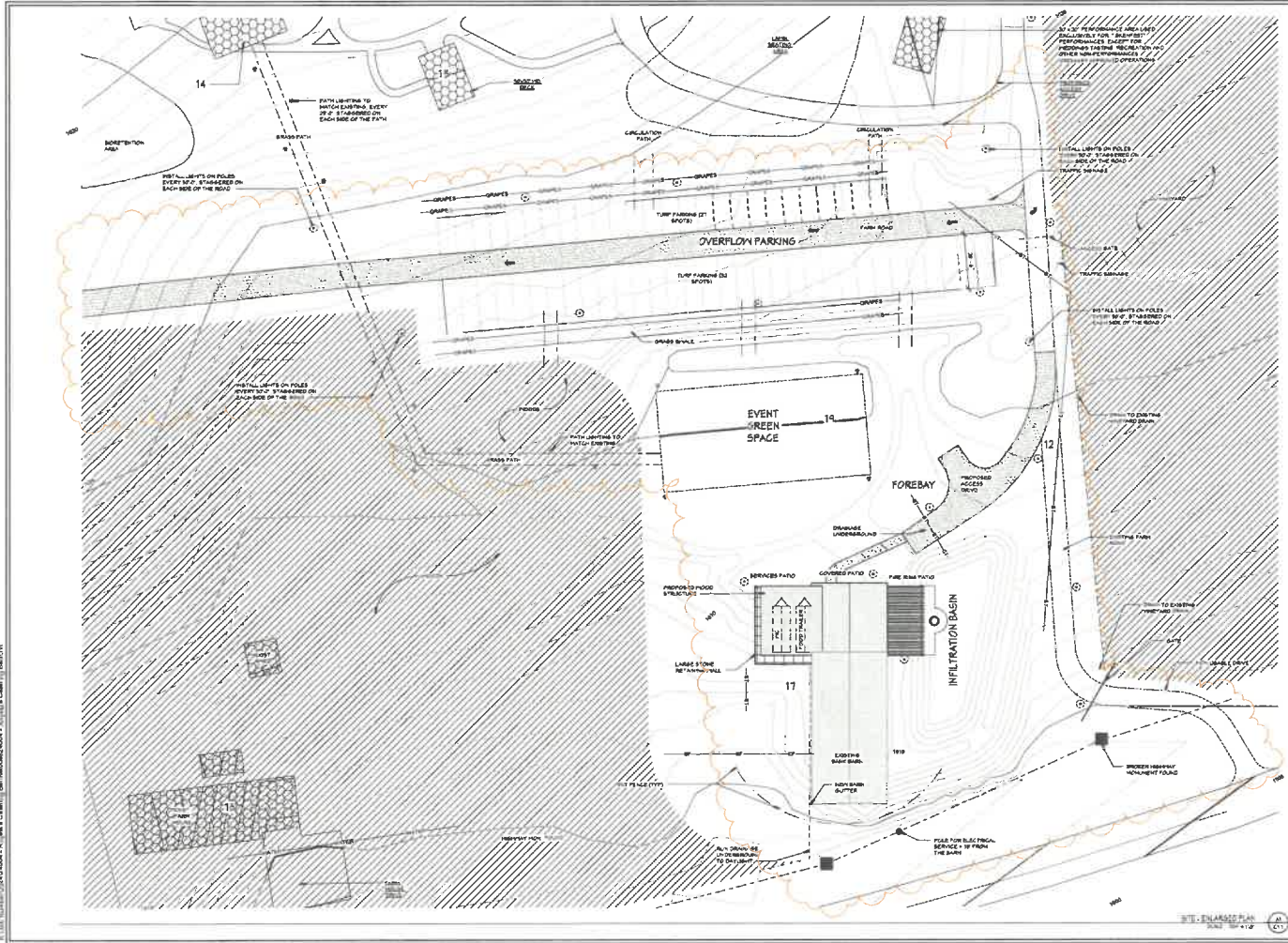
- Water Runoff plan associated with impermeable space is shown on T1.1, L1.0, L2.0, L3.0, C1.1.
- All calculations for “impermeable” space are shown on C1.0 and C1.1.

General Landscape Features:

- The main tie-in element to connect the properties will be a walking path from the main tasting room to the center of the property. The path will spill north for path access to the barn. Trees that were diseased and thicket brush will be removed and select native trees will be kept providing dimension and necessary shade to the landscape. A “minimal mow” grass will be planted providing a glade appearance.

Farm Winery License: We have submitted an addendum to our Farm Winery liquor license (SLA,) to incorporate this property into the existing liquor license held by Anyela’s Vineyards.

James E. Nocek, 6/10/2024



SITE REVIEW

NO.	DATE	REVISION

IN THE EVENT OF ANY DISCREPANCY BETWEEN THIS PLAN AND THE FIELD SURVEY, THE FIELD SURVEY SHALL CONTROL.

DATE: 2008
 DATE ASSUMED: 2008
 DESIGNER: [Signature]
 CHECKER: [Signature]
 SCALE: 1/8" = 1'-0"

Anyela, Vassarville
Anyela's Historic Gathering Barn
 341 W. MAIN ST. SKRANTON, NY 13152
HOLMES + KING + KALLOUST
 & ASSOCIATES, ARCHITECTS LLP
 578 NORTH SHAW STREET, SCRANTON, NY 13508
 PH: 518-478-8371 FAX: 518-478-5452

Site Plan (Enlarged Area of Interest)

C1.1

CLIENT

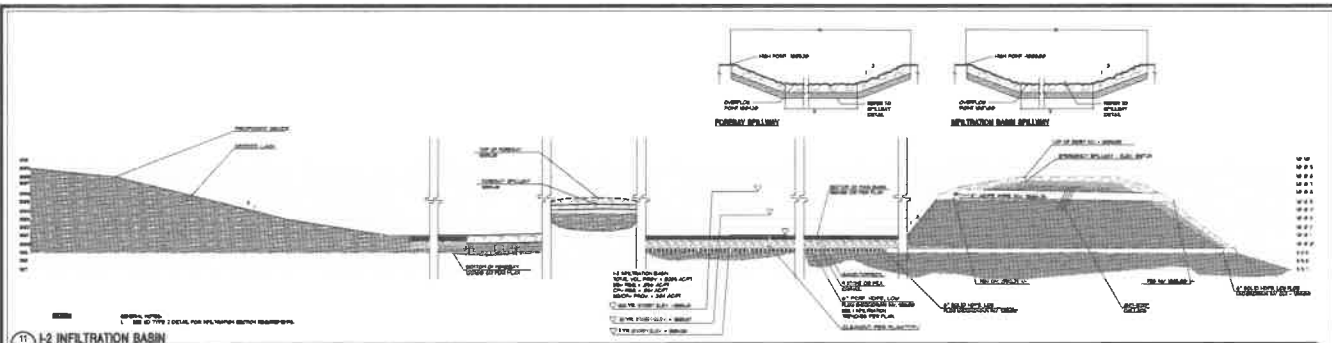
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DESCRIPTION	
BY	
CHECKED	
APPROVED	

DESIGNER

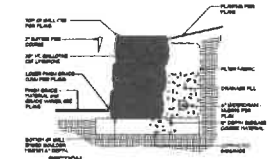
DATE

DETAILS

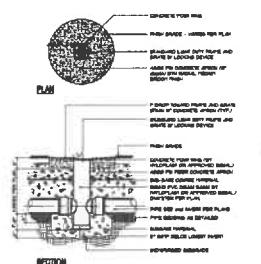
L2.0



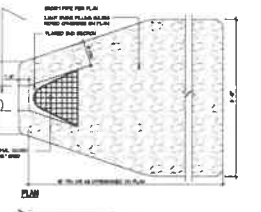
11.2 INFILTRATION BASIN
 SEE TO SCALE



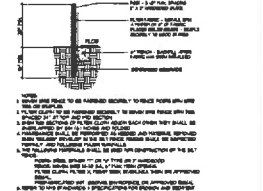
12. BOULDER WALL - GULLOTINE 20" HT. CUT STONE
 SEE TO SCALE



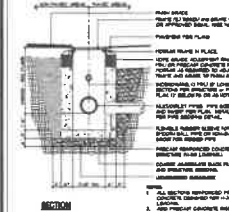
13. DRAIN BASIN - LIGHT DUTY (DB-LD)
 SEE TO SCALE



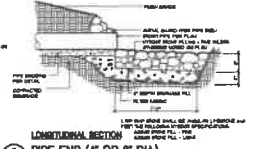
14. FLARED END SECTION
 SEE TO SCALE



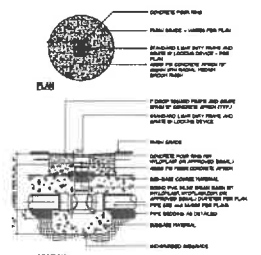
15. SILT FENCE (BF)
 SEE TO SCALE



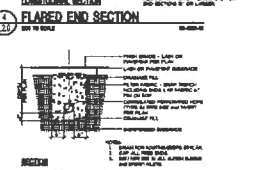
16. STORM INLET (SD)
 SEE TO SCALE



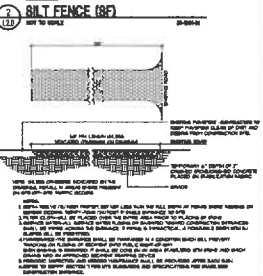
17. LONGITUDINAL SECTION
 PIPE END (4" OR 6" DIA)
 SEE TO SCALE



18. INLINE BASIN - LIGHT DUTY
 SEE TO SCALE



19. PERFORATED STORM PIPE OR UNDERDRAIN (UD)
 SEE TO SCALE



20. CONSTRUCTION ENTRANCE (MUDRACK)
 SEE TO SCALE

18. GRAVEL SURFACING
 SEE TO SCALE

CLIENT

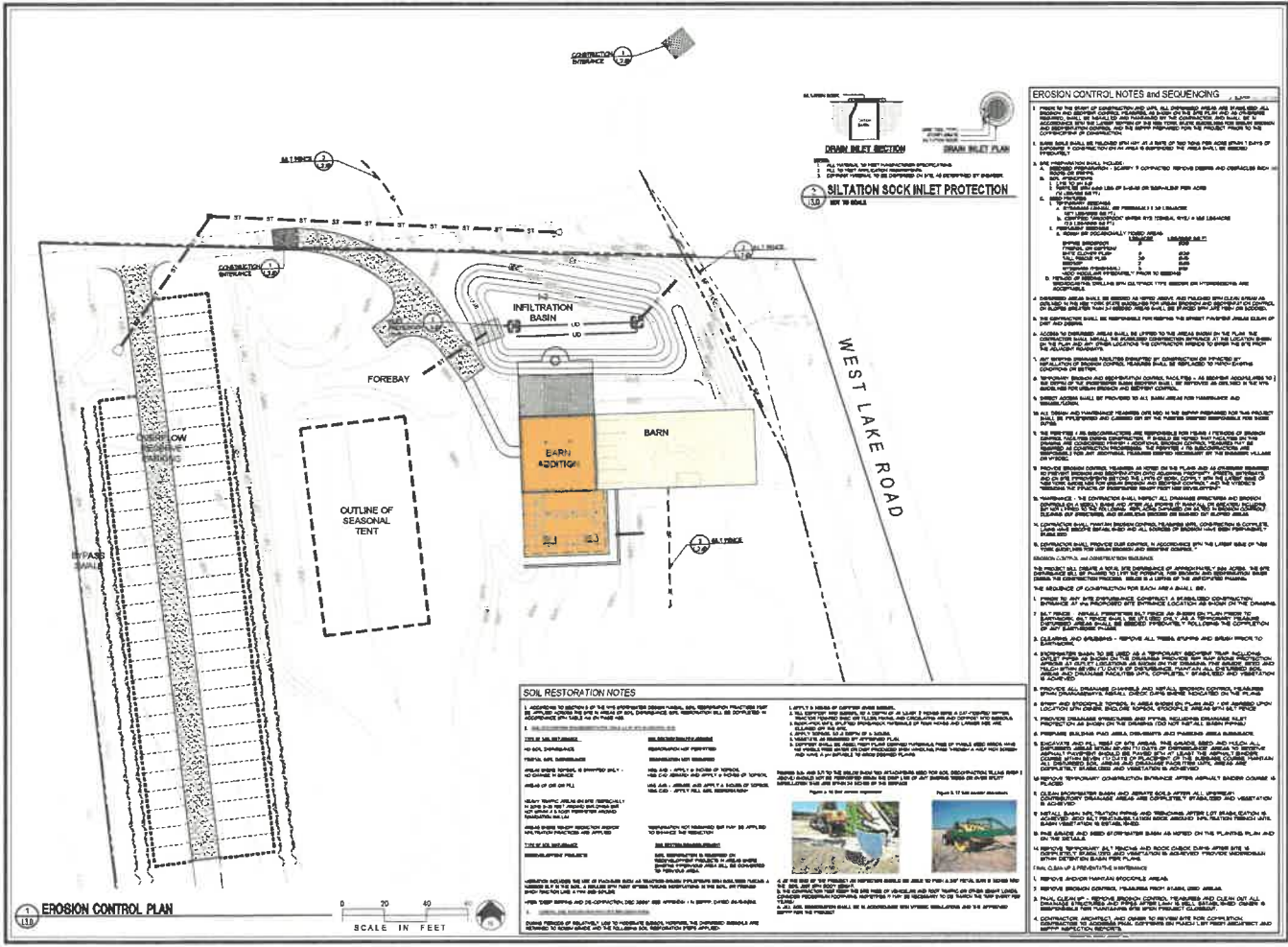
ISSUED AND REVISIONS NOTIFICATION

NO.	DATE	DESCRIPTION

DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 SCALE: _____

THE EROSION CONTROL PLAN

L3.0



EROSION CONTROL NOTES and SEQUENCING

1. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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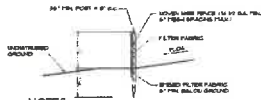
SOIL RESTORATION NOTES

1. SOIL RESTORATION MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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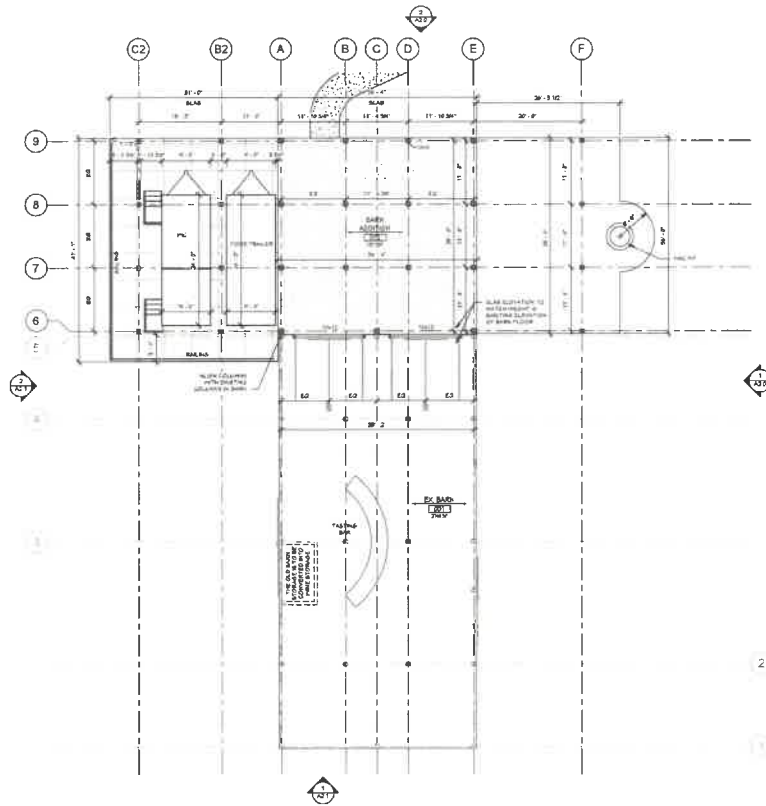
EXISTING BARN
SCALE 1/4" = 1'-0"



NOTES:

- 1. FENCE SHALL BE CONSTRUCTED AS SHOWN AND SHALL BE MAINTAINED AS SUCH.
- 2. FILTER FABRIC SHALL BE 10 MIL THICK AND SHALL BE INSTALLED OVER A 2" SAND BED.
- 3. FILTER FABRIC SHALL BE SEAMED TOGETHER WITH A 2" WIDE OVERLAP AND SHALL BE SEAMED TO THE 2x4 RAILS WITH 2x4 SCREWS.
- 4. FILTER FABRIC SHALL BE SEAMED TO THE 2x4 RAILS WITH 2x4 SCREWS.
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- 9. FILTER FABRIC SHALL BE SEAMED TO THE 2x4 RAILS WITH 2x4 SCREWS.
- 10. FILTER FABRIC SHALL BE SEAMED TO THE 2x4 RAILS WITH 2x4 SCREWS.

FENCE DETAIL
SCALE 1/4" = 1'-0"



2

1

PROPOSED FIRST FLOOR
SCALE 1/8" = 1'-0"

SITE REVIEW

NO.	DATE	DESCRIPTION



DATE: 06/18/2013
DRAWN BY: J. KALLOUST
CHECKED BY: J. KALLOUST
SCALE: AS SHOWN

Annyela's Emporium
Anyela's Historic Gathering Barn
34 W. 1st St., Salamanca, NY 13158
HOLMES + KING = KALLOUST
ARCHITECTS
575 North State Street, Salamanca, NY 13150
PH: 516-476-8271 FAX: 516-476-5420



Barn, Main Floor

A1.1

ANYELA'S EMPORIUM
 575 NORTH STATE STREET
 SALAMANCA, NY 13150
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 FAX: 516-476-5420
 WWW.ANNYELAS.COM

